



ARMADILLO INSPECTION
Matthew@ArmadilloInspection.com
www.ArmadilloInspection.com
512.903.3093
Austin, TX 78744

PROPERTY INSPECTION REPORT

**123 Main Street, Austin
John and Jill Smith**



PROPERTY INFORMATION

Orientation: Home faces South
Builder (if known): Coventry Homes
Exterior cladding: north masonry
east masonry
south masonry
west masonry

Bedrooms: 4 Bathrooms: 4.0
Listed square footage: 3,489 sf
Listed year of construction: 2001
Roof type: composite fiberglass shingle
Water service: Public Private well
Sewer: Public Private septic

INSPECTION INFORMATION

Inspection date: Tuesday, August 1, 2023
Inspector: Matthew Kenny, Lic #09997
Buyer agent: Jane Doe

Type of inspection: Resale
Weather: sunny Temp: 67-78 °F
 Occupied Vacant Under construction

QUICK GLANCE

Water shutoff location: at meter
Air filter size: 20x25x4 and 16x25x4
Water pressure: 65 psi

Age of roof (per listing): 2001
Age of water heater(s): 2015
Age of HVAC unit(s): 2014



| | | |
|---|------------------------------------|----------------------------------|
| Report Identification: | | |
| Property Location: 123 Main Street, Austin | Inspected By: Matthew Kenny | Insp Date: August 1, 2023 |
| Prepared For: John and Jill Smith | TREC License: #09997 | Time: 9:00 AM |

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PART 1: TREC CONSUMER NOTICE





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PART 1 - PROPERTY INSPECTION REPORT FORM



| | |
|---|--|
| John and Jill Smith <i>Name of Client</i> | Tuesday, August 1, 2023 <i>Date of Inspection</i> |
| 123 Main Street, Austin <i>Address of Inspected Property</i> | |
| Matthew Kenny <i>Name of Inspector</i> | # 09997 <i>TREC License #</i> |
| Not Required <i>Name of Sponsor (if applicable)</i> | Not Required <i>TREC License #</i> |

PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. *It is important* that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component OR constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

Please Note: Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.



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NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today’s standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:


- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST)

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.


This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER “ADDITIONAL INFORMATION PROVIDED BY INSPECTOR”, OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR



STOP. DO NOT PROCEED WITHOUT READING
THE ABOVE INFORMATION FROM TREC.



PART 2: REALTOR SUMMARY





| COLOR CODING LEGEND | |
|---------------------------------------|--|
| ■ | = Recommended; high priority |
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PART 2 - REALTOR / BUYER SUMMARY

*** CLIENTS SHOULD READ FULL REPORT ***

THIS SUMMARY IS ONLY A PARTIAL LIST: The below partial list is provided so that realtor is aware of some of the more significant issues contained in the report. Refer to detailed report for additional items that client may wish to have addressed including suggestions, items not deemed deficient by TREC, and items that were not typical building practice at time of construction.

NOTE ON COLOR CODING: Color coding is provided as an aid to help buyer differentiate between vital repairs that affect the function or safety of home and other repairs that, although recommended, may not need to be performed immediately. In the opinion of the inspector, all items noted below should be performed as soon as possible or they may begin to affect the function of the home and could lead to costly repairs. Color coding should not be viewed as a directive or advice from inspector; all repairs recommended should be performed.

WHY IS THE REPORT SO LONG?: A report with a long list of items is not necessarily a reflection on the condition of the home; the Texas Real Estate Commission (TREC) regulates home inspectors, and we must inspect to the current standards of practice they have set forth. A house built in 1990, for example, will not meet all the standards set forth today, nor would you expect it to. It is my responsibility to list all items I discover and then help you understand the present condition of the home you are purchasing so that you may make an informed decision.

It is important to realize that not everything listed in the report must be repaired. Many items are simply listed for your information and are considered common minor flaws found in most homes. Some items listed in this report are required repairs while other items are simply recommendations based on years of experience building, executing repairs, and performing inspections.

The findings in this report are thorough because my clients deserve that level of service. Every home, regardless of age or price, is going to have some items that are reportable according to the Texas Real Estate Commission (TREC) standards of practice.

I. STRUCTURAL SYSTEMS

- 1 Splash blocks should be installed under each downspout to prevent soil erosion and to direct water away from foundation.
- 2 Plumbing vent stack lead flashing above NE guest bathroom does not completely wrap around top of pipe and instead is caulked to the edge of the pipe. This joint should be inspected periodically and resealed / repaired if sealant fails.
- 3 Recommend re-caulking of rain hood at eastern HVAC furnace flue on roof due to staining observed in attic below flue.
- 4 Recommend periodic inspection of the sealant joint along the front face of the converted enclosed balcony. As these exterior walls are sealed against the top of the old balcony without the benefit of a foundation edge or overlap, this joint is susceptible to leakage should the sealant fail at any point.
- 5 Attic access hatch in upper west bathroom must be topped with insulation at least equal to the insulation R-value of the surrounding attic.
- 6 Wood screws at attic stair framing are not acceptable fasteners as they lack the shear strength of nails or lag bolts. This makes the stairs a fall hazard and 16D nails (or lag screws) must be added on all 4 sides, per manufacturer.
- 7 A working platform 30" deep is required in front of HVAC units for servicing. Missing at eastern HVAC unit.
- 8 Insulation and other combustibles should be kept at least 2" away from chimney flues. Insulation was found resting against chimney flue.
- 9 Missing sealant at exterior wall-mounted light fixtures; required to prevent water entry into electrical box and wall cavity.
- 10 Door leading to garage is required to be equipped with self-closing hinges to prevent passage of harmful fumes into residence and to maintain fire barrier. [IRC 302.5.1]
- 11 Door stops missing from majority of doors; recommended to prevent wall damage.
- 12 Converted balcony pocket door will not stay in the open position and slides ('ghosts') shut.
- 13 Upper NE guest bedroom closet door rubs against frame, preventing door from fully closing.
- 14 Upper west guest bedroom door and primary bedroom exterior door will not latch securely (can be pulled open without turning knob) and requires strike plate or hinge adjustment.
- 15 Weatherstripping forms a poor seal against the following doors and weatherstripping should be replaced and/or door adjusted: front door (left side jamb), both living room french doors, primary bedroom exterior door.
- 16 Weatherstripping missing completely around left side living room french door. This should be added.
- 17 Throw bolt handle at bottom of front door is broken off and stuck in the unlocked position. Recommend repair.
- 18 Throw bolt at bottom of both living room french doors will not operate and should be lubricated or repaired.
- 19 Primary bath door is missing a strike plate.
- 20 The insulating seal between the panes of glass is compromised and/or desiccant strip is deficient at several windows as evidenced by fogging and/or condensation. (This does not greatly affect window function, but is noted because it is a visual concern for most buyers). Windows include center breakfast nook, stairwell, both primary bedroom windows, upper west guest bedroom, and upper hall shower. Eastern converted balcony window also has a damaged UV coating that obscures visibility.
- 21 Right side dining room and both primary bedroom windows are difficult to operate and would benefit from lubrication and/or adjustment.
- 22 Recommend caulking touchup at voids around exterior of all masonry windows to prevent water penetration and air infiltration.



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- 23 NOTE - window screens have been removed from all windows. Inspector could not verify quantity; it is advised buyer request seller to confirm screens are available for all windows.
- 24 Fireplace missing control knob on gas appliance insert, making lighting difficult (no indicators to know which direction to turn knob and stem is difficult to turn). Recommend replacing knob.
- 25 Gas appliance insert pipe orifices are pointed to the bottom of the fireplace rather than straight up. While some installers do this purposefully to prevent orifices from becoming blocked by ash, this also concentrates the propane away from the ignitor which makes lighting difficult / dangerous due to gas buildup.
- 26 Fire caulking or mortar must seal the gap where the gas log lighter pipe enters the side of the fireplace box.
- 27 Laundry bath countertop should have backsplash added or be caulked to wall to prevent splashed water from falling behind cabinet.

II. ELECTRICAL SYSTEMS & FIXTURES

SERVICE (MAIN) PANEL

- 1 Exterior service panel required to be sealed to wall to prevent water from entering panel and to prevent water from entering home through penetration between panel and home.
- 2 Deadfront cover of exterior subpanel is heavily corroded at bottom edge. Deadfront is missing a screw to secure cover in place. Recommend adding.

SUBPANEL - GARAGE

- 1 Since 2014 NEC, dishwashers are required to be on a GFCI receptacle or circuit, although this is recommended regardless of year of construction.

SUBPANEL - WEST EXTERIOR ELEVATION (a/c condensers and pool equip)

- 1 No deficiencies observed.

SUBPANEL - REAR PATIO PLANTER (future hot tub)

- 1 Subpanel on wall by rear patio is missing its protective deadfront cover. This is required to prevent inadvertent shock and must be replaced.
- 2 Open knockout at bottom of service panel is required to be sealed to prevent pest entry.
- 3 Ground wire inside rear patio subpanel is not connected to grounding bar. This should be investigated and repaired by licensed electrician.

FIXTURE NOTES

- 1 Outlet in backsplash above kitchen microwave is not secured to wall and can be pulled out. Recommend repair.
- 2 GFCI outlet at dining room is cracked at grounding pin and should be replaced.
- 3 Protective faceplate missing from outlet in garage below irrigation controller.
- 4 Glass globe missing from light fixture inside front entry coat closet.
- 5 Upper west bathroom attic light bulb needs replacement.
- 6 Light fixtures within 3' horizontal and 8' vertical of a tub edge or shower base are required to be water resistant type. The recessed can above primary bathtub and both upper bathrooms must be replaced with water resistant / sealed type can.
- 7 Light switch for primary shower light is installed upside down.
- 8 Beauty ring for in-law suite ceiling fan has fallen down and should be pushed back into place (cosmetic only).
- 9 Screws missing from faceplates of light switches and outlets throughout house.
- 10 Inspector unable to locate remote control for west side converted balcony fan. Recommend obtaining from seller.
- 11 Inspector unable to operate undercabinet lighting (these are assumed to be operated from left side wall switch). Recommend having licensed electrician repair, or asking seller if a hidden switch exists.
- 12 Exposed electrical wire in floor behind primary bath tub should be capped and terminated inside an approved electrical junction box - wire was not live at time of inspection but may become live during remodel work or if breakers / switches turned on elsewhere in home. Repair.



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III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

- - - REFER TO DETAILED REPORT FOR AGE AND SIZE OF HVAC EQUIPMENT - - -

- 1 The primary condensate drain line at the HVAC unit is lacking insulation past the first 24" which is required to prevent condensation from sweating / dripping onto attic floor which may eventually cause staining to the drywall ceiling below. Recommend insulating entire length of line.
- 2 Furnace for lower level HVAC unit would not ignite. Furnace provided a flashing error code #31 which indicates a failed pressure switch. Investigation and repair by licensed HVAC tech required.
- 3 Furnace for upper level HVAC unit has a strong orange tint to the flame (in lieu of the standard blue flame). While HVAC tech is repairing lower level furnace, recommend examining to determine if furnace orifices were properly converted for propane gas.
- 4 The circuit breaker installed at the electric panel exceeds the maximum circuit breaker size required by the AC condenser manufacturer (50 amp breaker installed vs 40 amp req'd by manufacturer), meaning that overcurrent protection will not be available at the limits recommended by manufacturer. Breaker replacement recommended.
- 5 Interior of ductwork and plenums have a heavy layer of dust and a duct cleaning is recommended especially for occupants with allergen sensitivity.

IV. PLUMBING SYSTEM & FIXTURES

- - - REFER TO DETAILED REPORT FOR AGE AND SIZE OF WATER HEATERS - - -

- 1 Grout void at inside face of primary bath shower curb should be sealed to prevent water entry.
- 2 Upper east bath toilet is not secured and sealed to floor. This can damage wax ring and cause sudden leakage. Toilet should be removed to inspect condition of wax ring and floor flange and then fastened and caulked to floor. (no active leak noted at time of inspection)
- 3 Primary bath toilet is not sealed to floor- recommend repair to prevent fouling of joint and possible loosening of toilet.
- 4 Unused water line under kitchen sink should be capped to prevent leak should valve be inadvertently turned on.
- 5 New shower glass leaks at the following - in laundry room at bottom bracket to right of door, in laundry room where shower glass meets right side wall at 18" high, and at primary shower glass behind bench. Repair.
- 6 Handles at both upstairs tubs drip during operation. It is unknown if this dripping is also allowing water to enter wall cavity, and as such both handles should be evaluated and repaired.
- 7 Handle at upper hallway toilet must be held down for a complete flush. Recommend adjusting.
- 8 Inspector detected odor of gas at upper west attic water heater gas valve connections. Leak detected at water heater joints using soap and water. Recommend repair by plumber.

V. APPLIANCES

- 1 Dishwasher drain line must be raised to underside of the counter (not the underside of the sink) to prevent backflow of dirty sink water into a clean dishwasher.
- 2 Garbage disposal has trapped debris inside.
- 3 Garage doors with motorized openers must have the door lock disabled to prevent damage to door and motor unit from accidental locking, as required by manufacturer (a bolt is typically installed through lock handle to disable).
- 4 Wall button on 1st and 3rd garage door opener must be held down to get door to close. This typically indicates a misalignment of the infrared sensors or an improperly adjusted downforce. As the infrared sensors appear to be aligned, it is assumed the downforce setting must be increased or the seller's belongings disrupt the beam. Service and further review recommended.
- 5 Light bulbs on all 3 garage door openers require replacement.
- 6 Dryer exhaust exits foundation at grade level and is being obstructed by garden mulch. Mulch should be cleared away and access kept open.
- 7 Hot water connection at clothes washer is dripping. Valve should be replaced as the drip will only worsen over time and may not shut off during next washer disconnect. At a minimum, valves should be capped until a washing machine is hooked up to prevent possible water damage in wall.



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VI. OPTIONAL SYSTEMS

IRRIGATION / SPRINKLER SYSTEM

- 1 Refer to detailed report for list of irrigation repairs / recommendations.
- 2 BUYER TIP - Be sure to print out the enclosed irrigation chart of zones and attach to the garage wall for reference.

TERMITE / WDI INSPECTION (by 3rd party)

- 3 See attached Wood Destroying Insect (termite) report performed by third party. Results:
 - 1) ACTIVITY - none observed at time of inspection.
 - 2) **EVIDENCE OF PRIOR TREATMENT - per seller, area of master bath was previously treated although no treatment sticker or other information was available. Suggest having seller provide for further review.**
 - 3) CONDUCTIVE CONDITIONS - none.A quotation for a pest control program is attached.

POOL & EQUIPMENT

- 4 Railing on east side of stairway leading from rear patio to pool patio is not secured to wall (loose bolt).. Recommend repairing.
- 5 Gate latch leading from patio stairs to pool only functions sporadically (must lift up on gate and then jiggle and lift handle simultaneously several times to operate). Recommend replacing.
- 6 Robotic cleaner has low pressure to internal jets that drive wheels and suction as well as low pressure to reversing valve. Inspection revealed that the attachment of the supply hose to the pool wall was loose and allowing significant pressure to escape, which affects overall function of cleaner. Recommend repair.
- 7 Exposed pool plumbing pipes in yard (in front of equipment wall) should be covered to protect from physical damage.
- 8 Exposed pool plumbing pipes are recommended to be painted to protect against UV degradation.
- 9 Pool filter was leaking steadily from top pressure valve. Recommend repair.
- 10 Breaker serving pool motors is required to be GFCI protected per 2014 NEC 680.21, even if the pool panel itself provides GFCI protection for underwater lighting.
- 11 Timer for pool circulation pump is missing start/stop switches, allowing pump to run 24 hours a day. This is not necessary and will result in high electrical bills. Recommend installing start/stop switches and setting timer to above recommendations.
- 12 Pool water was observed exiting top of pool lighting conduit inside pool equipment control panel. This will result in corrosion of panel and is a shock hazard. Control panel should be raised above level of pool edge to prevent this from occurring.

MISCELLANEOUS

- 13 Alarm control panel displayed several error messages and requires service.
- 14 Wiring for primary shower window alarm was protruding through wall of shower and should be capped back into wall.

COSMETICS:

- 15 Stress cracking of drywall noted at garage (possibly from stepping off platform). Noted for record.
- 16 Discoloration to upper east bath countertop, to right of sink.
- 17 Scratch observed to tile to left of primary toilet.
- 18 Ceiling is not painted around kitchen vent hood.

PART 3: DETAILED REPORT





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KEY: = Inspected = Not Inspected = Not Present = Deficient

PART 3 - DETAILED REPORT

I. STRUCTURAL SYSTEMS

A. Foundations (If all crawl space areas are not inspected, provide an explanation)

1. Type of foundation(s): Slab on grade Pier & beam
2. Crawl space: Yes No
3. Indications of foundation movement:
 - Typical concrete cracking / movement (**Typical - noted for record only**)
 - Driveway Front patio Rear patio Walkways
 - Garage Exposed concrete floors Exterior grade beam Corner pops
 - Structural concrete cracking / movement (**Recommend further review by engineer**)
 - Driveway Front patio Rear patio
 - Garage Exposed concrete floors Exterior grade beam Corner pops
 - Ancillary signs of foundation cracking / movement
 - Cracked drywall Cracked floor tile Sticking windows Sticking / swinging doors
 - Uneven floors Dropped patio / drive levels
 - Conditions conducive to foundation movement
 - Poor site drainage Dropped soil levels Trees against slab

4. Comments:

GENERAL INFO ON FOUNDATIONS

- a. All wood framed buildings are dynamic, not static. All foundations will experience some minor settling due to the soil yielding to the weight of the home, expansion and contraction of the soil caused by water or drought, soil erosion, and many other factors. Materials themselves will also experience movement and cracking due to wind, moisture permeability (swelling and shrinking of brick, masonry and wood with varying moisture content), thermal expansion and contraction between seasons and sun position, etc. This movement and cracking is most noticeable where two different materials with different expansion/contraction rates meet (e.g. wood to masonry, stucco to wood, etc). Therefore, there is always an acceptable amount of settling and movement occurring. Inspectors use professional judgment along with industry guidelines to determine what is an acceptable amount of movement beyond what is absorbed by expansion and control joints.
- b. The below is a cursory and visual observation of the conditions and circumstances present at the time of this inspection. Opinions are based on observations made without sophisticated testing procedures. Therefore, the opinions expressed are one of apparent conditions and not absolute fact and are only good for the date and time of this inspection.
- c. Due to constantly changing conditions, all concrete cracks should be closely monitored for worsening condition. A crack that has remained the same for several years can change quickly. A good rule of thumb is a crack in concrete becomes a structural deficiency if it settles differentially or widens greater than 1/8" (reference ACI 224 and ACI 318 standards).
- d. With very few exceptions, all concrete cracks. As the concrete dries out, the water vaporizes and the concrete shrinks slightly, causing hairline fractures. These can be controlled by well placed control and expansion joints, but is extremely difficult to prevent. All residence should expect some cracking of the garage, driveway, and under the floor finishes inside the home. The amount and type of cracking (described in above note) is what causes the difference between a normal, acceptable stress/shrinkage crack and a lateral/differential movement of concrete.
- e. No concrete slab is perfectly level. The tolerance on a new residential slab is 1/4" deviation (up or down) over a 10' span. Over time, foundations may shift and that deviation may increase. Therefore, on an older home, a slab is generally considered level when there is no deviation over 1" in a 30' span when measured from the approximate center of the slab.



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| Report Identification: | | | |
| Property Location: | 123 Main Street, Austin | Inspected By: | Matthew Kenny |
| Prepared For: | John and Jill Smith | TREC License: | #09997 |
| | | Insp Date: | August 1, 2023 |
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- f. NOTE - Inspector can not view cracks under floor finishes inside the home. Cracks in concrete do not always transfer up through floor tile, nor is a crack in a floor tile indicative of a concrete crack below. The best method for determining foundation performance is to evaluate the structure in its entirety.
- g. MAINTENANCE TIP - During hot summer months, soaker hoses or irrigation should be used to keep the soil around the foundation moist. This area of Texas has heavy limestone caliche content that shrinks and swells with varying moisture levels. This can lead to foundation settling during excessive expansion/contraction of surrounding soils.

FOUNDATION EXTERIOR GRADE BEAM

- h. Cracking to NW outside corner of concrete foundation of garage (repaired), commonly referred to as a wedge crack or 'corner pop'. This cracking is caused by curved corner reinforcement and differential material movement and does not appear to adversely affect the structure nor does it transfer to the supported masonry. These areas can be repaired for cosmetic reasons if desired but are not structural
- i. Hairline cracks to foundation exterior grade beam at west side of front patio. These cracks are less than 1/16" and do not transfer to the supported masonry. Further, no signs of structural movement such as drywall and tile cracks or sticking doors or windows were noted. Therefore, these cracks do not, in the opinion of inspector, represent a need for further review or repair. However, cracks should be monitored and action taken if any conditions change.
- j. No detrimental cracking observed at exterior of foundation.

FOUNDATION INTERIOR

- k. INSPECTION LIMITATION - some areas of garage floor were obscured from view by stored material. However, some hairline cracking of garage floors is typical and can be expected.
- l. No detrimental cracking observed at garage floor that are cause for concern.

DRIVEWAY & PATIOS

- m. Small lateral concrete fractures at driveway. These cracks are common in a driveway due to poor soil compaction, lack of an exterior grade beam (thickened concrete at edges), soil movement, and light reinforcement.
- n. Small hydration or stress/shrinkage cracks at rear patio (less than 1/16" wide). These cracks are common and no further action is recommended at this time but cracks should be monitored for change in condition.

SUMMARY: OVERALL FOUNDATION PERFORMANCE

- o. The foundation appears to be providing adequate support for the structure based on a limited visible observation. At the time of inspection, the inspector did not observe any evidence that would indicate the presence of significant deflection in the foundation. There were no notable functional problems with doors or windows resulting from foundation movement. The interior and exterior stress indicators showed little effects of movement and the inspector perceived the foundation to contain no significant unlevelness after walking the 1st level floors. This inspection is visual only and does not employ sophisticated testing procedures, or elevation / levelness surveys. However, buyer should refer to the above notes and observations for areas to be monitored and for suggested improvements.
 At the time of inspection, no significant cracking to the visible portions of the exterior grade beam were observed and no signs of visible major foundation movement noted. Therefore, evidence of significant structural movement that would be considered detrimental to the function of the building was not discovered.



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 www.ArmadilloInspection.com
 512.903.3093
 Austin, TX

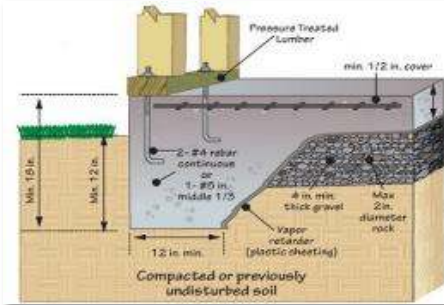
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Typical slab construction in TX



Item H



Item I



Item N

I NI NP D **B. Grading and Drainage**

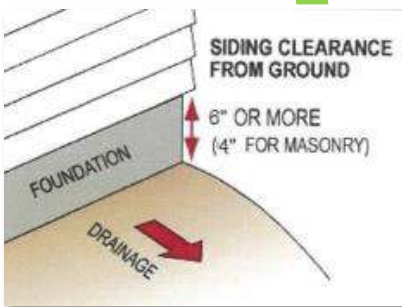
- Sloped away from house: OK Repair
- Gutters present: All roof edges Partial No gutters
- Comments:

NOTES, TIPS, AND INFORMATION

a. NOTE - Inspector does not determine function or adequacy of underground drain systems (gutter drains, french drains, trench drains, etc).

RECOMMENDED REPAIRS

b. Splash blocks should be installed under each downspout to prevent soil erosion and to direct water away from foundation.



Proper drainage and clearance



Item B



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I NI NP D **C. Roof Covering Materials**

1. Type of roof covering: Composition Shingle (Dimensional) Composition Shingle (3 Tab)
 Metal Clay/Concrete Other: _____
2. Viewed from: Walking From ground From eave with ladder
3. Evidence of prior repairs: see below
4. Appearance of flashings & penetrations: OK Repair
5. Chimney cricket: Acceptable Missing Not required No chimney
6. Overall condition: Excellent Good Fair Poor
7. Age of roof: 2001 (per seller disclosure)
8. Comments:

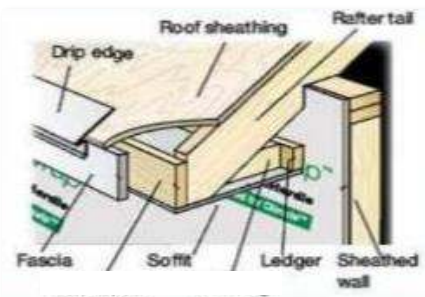
BUYER TAKE NOTE →

NOTES, TIPS, AND INFORMATION

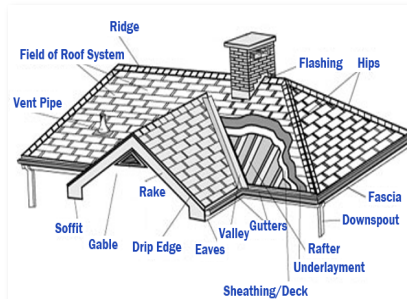
- a. LIFE EXPECTANCY - Typical life expectancy for this type of roof is 50 yrs +/-.
- b. NOTE - this inspection does not determine insurability of roof. Rather, inspection identifies deficiencies found in the roof system and offers suggestions for maintenance. The opinion of a roofer or insurance adjuster will vary widely from this report and may be influenced by other factors.

RECOMMENDED REPAIRS

- c. Plumbing vent stack lead flashing above NE guest bathroom does not completely wrap around top of pipe and instead is caulked to the edge of the pipe. This joint should be inspected periodically and resealed / repaired if sealant fails.
- d. Joints in metal roof ridge caps should be set in roof sealant to prevent wind-blown rain from entering joint and to prevent capillary action. Repair recommended.
- e. NOTE - prior repairs around chimney flashing and at master bedroom vent observed.
- f. Recommend re-caulking of rain hood at eastern HVAC furnace flue on roof due to staining observed in attic below flue.
- g. Recommend periodic inspection of the sealant joint along the front face of the converted enclosed balcony. As these exterior walls are sealed against the top of the old balcony without the benefit of a foundation edge or overlap, this joint is susceptible to leakage should the sealant fail at any point.
- h. NOTE - staining observed on metal roof outside of NE guest bedroom (due to prior leak from HVAC overflow) and to east of enclosed balcony window. Noted for record.



Roofing Terminology



Roofing Terminology



Item C



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Item D



Item F



Item G



Item H



Item H (by converted balcony)

I NI NP D **D. Roof Structure and Attics**

1. Viewed from access point at: garage, upper bath x 2
2. Approximate average depth of insulation: 17 " Posted R-Value: n/a
3. Insulation type: Batts Blown cellulose Blown fiberglass Rock wool Spray foam
4. Venting via: Unvented Soffit Ridge Gable Static Wind turbine Elec fan
5. Type of framing: Trusses Field framed Combination
6. Visible moisture penetration: OK See below notes
8. Firestop at chimney penetration: OK Repair Not accessible No chimney
9. Bathrooms vent to exterior: OK Repair Not visible
10. Attic lighting with accessible switch: OK Repair No attic equipment
11. Boarded path to equipment: OK Repair No attic equipment
12. Equipment platforms: OK Repair No attic equipment Outlet available
13. Attic access insulated: OK Repair Missing at edges N/A (not required)
14. Attic stairs properly fastened: OK Repair N/A
15. Attic access fire rated in garage: OK Repair N/A (non-garage access)
16. Radiant barrier: OK Not Present
17. Comments:

NOTES, TIPS, AND INFORMATION

a. NOTE - Not all areas of attic are safely accessible for a complete and thorough evaluation. Inspector does not move storage items, ductwork, vent pipes, or insulation. Inspector is not required to step off attic decking due to risk of ceiling damage.



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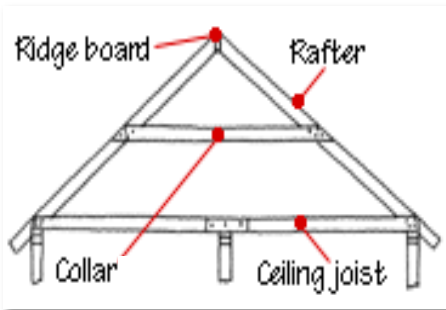
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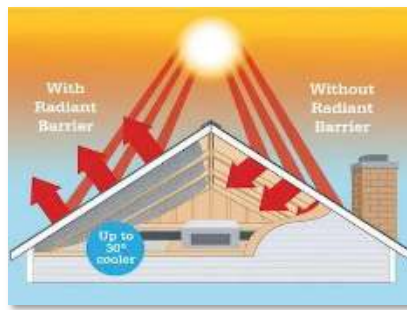
- b. NOTE - Inspector examines condition of attic and roof covering at the time of inspection only. Therefore, it is impossible to determine the presence of past, current, or future leaks unless it is raining heavily on the day of inspection. Inspector uses best practices to investigate for signs of past leaks via compressed insulation, stained framing and drywall, daylight openings, etc but can not guarantee all leaks can be discovered.
- c. NOTE - Inspector can not perform a complete evaluation of the structural integrity or design of the structure without access to engineered plans, removal of insulation, and full attic access. Where an observable deficiency is noted, further evaluation by a structural engineer will be recommended.
- d. NOTE - Roof sheathing is equipped with a radiant barrier backing, which reflects solar heat gain and improves the energy efficiency of the home.
- e. Minimal separation of rafter to ridge connections observed. Gaps between rafters and ridge boards should be shimmed tight. However, this is typical, separation was minimal and sporadic, and no repairs recommended at this time.
- f. NOTE ON PALM BRACES - "Palm bracing" is a generic term for the post supporting the intersection of the hip rafters and the ridge rafter on a home (see sample photos below). Palm bracing is not referenced or defined in the IRC R802.3 code or any of its Referenced Standards such as the Wood Frame Construction Manual, nor does it appear on any structural engineer's design. Although extremely common throughout TX, palm braces offer poor lateral support and nearly non-existent protection against uplift during storms. The addition of Simpson ties (such as HRC, HHRC, or twist straps) is always recommended to reinforce this connection.

RECOMMENDED REPAIRS

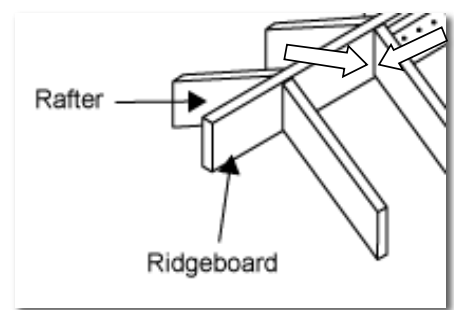
- g. Attic access hatch in upper west bathroom must be topped with insulation at least equal to the insulation R-value of the surrounding attic.
- h. NEWER CODE - Attic access stair from garage is required to be fire rated.
- i. Wood screws at attic stair framing are not acceptable fasteners as they lack the shear strength of nails or lag bolts. This makes the stairs a fall hazard and 16D nails (or lag screws) must be added on all 4 sides, per manufacturer.
- j. LIMITATION - Inspector unable to access scuttle hole cut into front patio due to lock.
- k. A working platform 30" deep is required in front of HVAC units for servicing. Missing at eastern HVAC unit.
- l. Insulation and other combustibles should be kept at least 2" away from chimney flues. Insulation was found resting against chimney flue.
- m. Evidence of prior leaks observed around chimney enclosure inside attic (appears repaired). As mentioned in roof section of report, light staining to plywood decking observed below eastern HVAC furnace flue.



Attic Framing Terms



Item D



Item E



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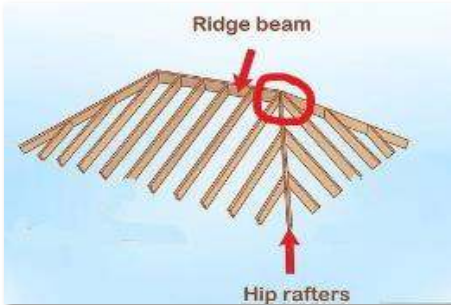
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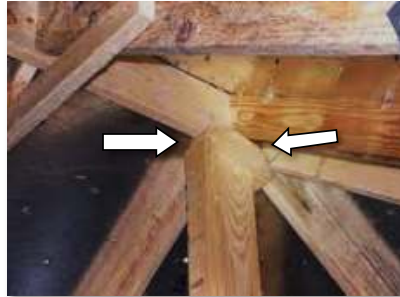
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Item F (location of palm brace)



Item F (typical palm brace)



Item G



Item I



Item K



Item L



Item M (below furnace flue)

I NI NP D **E. Walls (Interior and Exterior)**

1. Weep holes: OK Repair N/A
2. Expansion joints: OK Repair N/A
3. Evidence of decay: OK Repair
4. Comments:

NOTES, TIPS, AND INFORMATION

- a. MAINTENANCE TIP - Exposed end of baseboards should be caulked where they butt against tubs or showers. Splashed water from bathing will cause these exposed ends to swell and warp.



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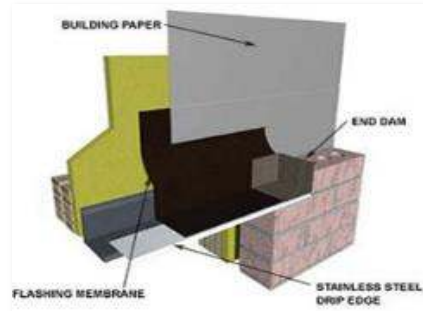
- b. NOTE REGARDING OLD CHINESE DRYWALL LAWSUITS - Home is not tested for 'Chinese drywall' under this inspection. Chinese drywall refers to defective drywall manufactured in China and used in approximately 100,000 new homes in 20 states in the U.S. between 2001 and 2009. Chinese drywall off-gasses volatile chemicals and sulfurous gases and may give off a sulfuric (rotten egg) odor. These chemicals will cause copper surfaces to turn black and powdery, affecting copper water piping, electrical wiring, and air conditioner coils. Homeowners may experience health symptoms including respiratory problems, headaches and sinus issues.
- c. NOTE - Light (less than 1/8") cracking of masonry mortar at several locations. These cracks are typical and do not appear to adversely affect the structure. No action required, but areas can be repointed or caulked to prevent water intrusion.
- d. No substantial cracking or other evidence that would suggest foundation movement found in exterior or interior walls. Note that it is normal for natural materials such as stucco and masonry walls to have some minor (less than 1/16") cracking due to thermal expansion and contraction. The amount, size, and type of cracking is a factor in determining if repairs are required.
- e. Metal or vinyl drip flashing not visible at steel lintels above *masonry* window, door, and garage door openings. Although flashing may be present behind the wall, drip flashing should extend from the wall drainage plane out past the face of the window to divert water away from opening and prevent backdrip into wall cavity.

RECOMMENDED REPAIRS

- f. Missing sealant at exterior wall-mounted light fixtures; required to prevent water entry into electrical box and wall cavity.
- g. NOTE - buildup of mildew / microbial growth observed on north sides of exterior masonry walls, while virtually no buildup on other walls. This may be due to moisture on northern wall faces that are not exposed to the sun or due to cleaning by prior owner.
- h. NOTE - recent paint and caulking observed on home. This may conceal areas of decay, wall repairs, water damage, or termite damage that would otherwise be visible.



Item A (sample photo of caulking location)



Item E (window flashing detail)



Item F

I NI NP D

F. Ceilings and Floors

1. Comments:

NOTES, TIPS, AND INFORMATION

- a. NOTE - the inspector does not look under carpeting, rugs, or move furniture. Damage may be concealed in these areas.
- b. No substantial cracking or other evidence that would suggest foundation movement found in interior ceilings or floors (see cosmetic section for typical stress cracking of drywall and floor tile).
- c. Squeaking to upper level flooring may be noticed following occupation. This is typically caused by subfloor plywood nails loosening along floor joists, or slight curling at subfloor edges and is not cause for structural concern.



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RECOMMENDED REPAIRS

d. No deficiencies observed.

I NI NP D

G. Doors (Interior and Exterior)

1. Exterior lock function acceptable? OK Repair
2. Garage to house door fire rated? OK Repair N/A
3. Garage to house door self closing? OK Repair N/A
4. Tempered safety glass? OK Repair N/A
5. Comments:

NOTES, TIPS, AND INFORMATION

- a. BUYER TIP - It is recommended to swap out door locks when taking possession of new home.
- b. MAINTENANCE TIP - Roller ball catches at the top of closet doors tend to freeze up over time, making opening and closing difficult. Lubricating these occasionally will help keep doors operating smoothly.

RECOMMENDED REPAIRS

- c. Door leading to garage is required to be equipped with self-closing hinges to prevent passage of harmful fumes into residence and to maintain fire barrier. [IRC 302.5.1]
- d. Door stops missing from majority of doors; recommended to prevent wall damage.
- e. Converted balcony pocket door will not stay in the open position and slides ('ghosts') shut.
- f. Upper NE guest bedroom closet door rubs against frame, preventing door from fully closing.
- g. Upper west guest bedroom door and primary bedroom exterior door will not latch securely (can be pulled open without turning knob) and requires strike plate or hinge adjustment.
- h. Weatherstripping forms a poor seal against the following doors and weatherstripping should be replaced and/or door adjusted: front door (left side jamb), both living room french doors, primary bedroom exterior door.
- i. Weatherstripping missing completely around left side living room french door. This should be added.
- j. Throw bolt handle at bottom of front door is broken off and stuck in the unlocked position. Recommend repair.
- k. Throw bolt at bottom of both living room french doors will not operate and should be lubricated or repaired.
- l. Primary bath door is missing a strike plate.



Item B (sample photo of roller catch)



Item C (sample photo of self-closing hinges)



Item H



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Item J



Item K



Item L

I NI NP D **H. Windows**

- | | | | |
|--------------------------------|--|--|---|
| 1. Cracks / fogging: | <input type="checkbox"/> OK | <input checked="" type="checkbox"/> Repair | |
| 2. Sills positive slope: | <input checked="" type="checkbox"/> OK | <input type="checkbox"/> Repair | <input type="checkbox"/> N/A |
| 3. Screens missing or damaged: | <input type="checkbox"/> OK | <input checked="" type="checkbox"/> Repair | |
| 4. Lintels present at masonry: | <input checked="" type="checkbox"/> OK | <input type="checkbox"/> Repair | <input type="checkbox"/> N/A |
| 5. Egress in bedrooms: | <input checked="" type="checkbox"/> OK | <input type="checkbox"/> Repair | |
| 6. Glazing type: | <input checked="" type="checkbox"/> Double | <input type="checkbox"/> Single | <input type="checkbox"/> Triple |
| 7. Frame type: | <input type="checkbox"/> Vinyl | <input type="checkbox"/> Wood | <input checked="" type="checkbox"/> Aluminum <input type="checkbox"/> Vinyl clad wood |
| 8. Safety glass: | <input checked="" type="checkbox"/> OK (where req'd) | <input type="checkbox"/> Repair | |
| 9. Window brand: | not labeled | | |
| 10. Comments: | | | |

NOTES, TIPS, AND INFORMATION

- a. NOTE - Often times, broken window seals do not show visible signs of failure and can not be observed unless there is condensation formed as a result of extreme temperature variation between the interior and exterior environment. This is further complicated by dirt or film that typically coats window exteriors. Therefore, only visually fogged windows can be reported.
- b. NOTE - Window treatments and blinds are not tested as part of this inspection report.
- c. BUYER NOTE - horizontal sliding windows can sometimes be lifted and pulled out of the frame when window is in unlocked position. This is normal and is not considered a defect.
- d. BUYER NOTE - Aluminum windows, unless thermally broken (not typical), tend to sweat, or accumulate condensation, on the interior face during winter months or on days of high humidity differentials in the morning. Minor swelling & staining to interior window sills often results. This is not a deficiency in the window itself, but rather a byproduct of the material.

RECOMMENDED REPAIRS

- e. Pursuant to item (d) above, minor swelling & staining to interior window sills & drywall jambs observed at several windows due to light moisture damage. This is common and can be caused by leaving the window open during rain or from failed caulking around the exterior of window (although caulking appeared to be adequate), but is most likely caused from condensation ('sweating') accumulating on the inside face of the window. This condensation is typical of aluminum windows.
- f. The insulating seal between the panes of glass is compromised and/or desiccant strip is deficient at several windows as evidenced by fogging and/or condensation. (This does not greatly affect window function, but is noted because it is a visual concern for most buyers). Windows include center breakfast nook, stairwell, both primary bedroom windows, upper west guest bedroom, and upper hall shower. Eastern converted balcony window also has a damaged UV coating that obscures visibility.
- g. Right side dining room and both primary bedroom windows are difficult to operate and would benefit from lubrication and/or adjustment.



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- h. Torsion bar/spring of dining room and both breakfast nook windows is detached from window frame. Although this does not greatly affect window operation, it is noted for record.
- i. Recommend caulking touchup at voids around exterior of all masonry windows to prevent water penetration and air infiltration.
- j. Holes have been drilled through the window sill to accommodate installation of security alarm contacts. These holes void most manufacturer's warranties. While this is extremely common and alarm contacts are well sealed with silicone, it is noted for record.
- k. NOTE - window screens have been removed from all windows. Inspector could not verify quantity; it is advised buyer request seller to confirm screens are available for all windows.

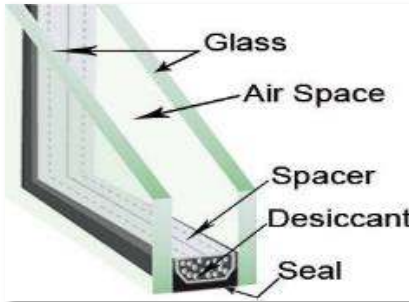


Diagram of a double-paned window



Item E



Item H



Item I



Item J

I NI NP D

I. Stairways (Interior & Exterior; refer to Section K for deck stairs)

1. Guardrails
 - Provided where required OK Repair n/a (walls in place)
 - Secure OK Repair n/a (walls in place)
 - Spacing of balusters OK Repair n/a (walls in place)
2. Handrail grippable & continuous OK Repair n/a
3. Handrail returns at ends OK Repair n/a
4. Risers closed OK Repair n/a
5. Comments:
 - a. No deficiencies noted.



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I NI NP D **J. Fireplaces & Chimneys**

1. Hearth extension in place OK Repair Non-combustible flooring Sealed unit (not req'd)
2. Damper operable OK Repair Locked open (if gas) Sealed unit (no damper)
3. Gas shut off valve: OK Repair N/A
4. Chimney cap / crown / flashing comments: refer to roofing section
5. Fuel type: Gas only Gas and/or wood Wood only No label
6. Flue type: Metal flue Metal flue in masonry Masonry Direct vent
7. Creosote buildup Substantial Moderate Light Not present N/A (sealed unit)
8. Comments:

NOTES, TIPS, AND INFORMATION

- a. BUYER NOTE - Monitor creosote buildup in wood burning fireplaces as excessive buildup is a leading cause of house fires. Seasonal cleaning is recommended.
- b. BUYER NOTE - Due to the nature of the holes in the top of a chimney cap / spark arrestor screen, nearly all fireplaces, both wood and gas, will exhibit some small moisture entry during heavy and wind-blown rain. This is normal in small amounts and not cause for concern.

RECOMMENDED REPAIRS

- c. Fireplace missing control knob on gas appliance insert, making lighting difficult (no indicators to know which direction to turn knob and stem is difficult to turn). Recommend replacing knob.
- d. Gas appliance insert pipe orifices are pointed to the bottom of the fireplace rather than straight up. While some installers do this purposefully to prevent orifices from becoming blocked by ash, this also concentrates the propane away from the ignitor which makes lighting difficult / dangerous due to gas buildup.
- e. Fire caulking or mortar must seal the gap where the gas log lighter pipe enters the side of the fireplace box.



Fireplace in operation (OK)



View up fireplace flue (OK)



Item C



Item D



Item E



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|---|--|
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| | = Recommended |
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| Property Location: | 123 Main Street, Austin | Inspected By: | Matthew Kenny |
| Prepared For: | John and Jill Smith | TREC License: | #09997 |
| | | Insp Date: | August 1, 2023 |
| | | Time: | 9:00 AM |

KEY: I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D **K. Porches, Balconies, Decks, and Carports**

I NI NP D **L. Other**

A. Energy Certificate Postings

1. Comments:

- a. NEWER CODE - An energy efficiency certificate was not posted near the electrical panel box. The certificate shall list U-factors, SHGC, R-values of insulation installed in ceiling/roof, walls, foundation, ducts, and list the type and efficiency of heating, cooling and service water heating equipment. This certificate is required by IECC R401.3 for any home built after Sept 1, 2016 and is required by R405.3.2.2 to obtain Certificate of Occupancy.
- b. BUYER NOTE ON NEW CONSTRUCTION - The 2015 Energy Conservation Code requires that any residence built after Sept 1, 2016 pass a blower door test. A blower door test measures the airtightness of buildings by installing a fan in the door of a home and pressurizing or depressurizing a home to detect air infiltration. A fan is also used to measure HVAC ductwork airtightness. These tests are performed by a 3rd party contractor hired by the builder and the inspector is not made aware of the results.
- c. An insulation installation certificate was not observed posted near the attic access. The certificate shall list installer name and date, R-values, and thickness of insulation installed. This certificate has been required since the 2012 IECC Energy Code.

B. Built-in Cabinetry and Countertops

- 1. Kitchen countertop material: Granite Solid Surf / Quartz Laminate _____
- 2. Soft-close doors / drawers: Kitchen Bathrooms None (not required)
- 3. Comments:
 - a. NOTE - reviewing for proper fastening of cabinets to walls is not part of this inspection.
 - b. Laundry bath countertop should have backsplash added or be caulked to wall to prevent splashed water from falling behind cabinet.



Item B



| COLOR CODING LEGEND | |
|--------------------------|--|
| <input type="checkbox"/> | = Recommended; high priority |
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II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

- | | | | |
|-----------------------------|---|--|--|
| 1. Service entrance: | <input checked="" type="checkbox"/> lateral | <input type="checkbox"/> overhead | <input type="checkbox"/> pole mount |
| 2. Weatherhead / drip loop: | <input type="checkbox"/> OK | <input type="checkbox"/> repair | <input checked="" type="checkbox"/> N/A |
| 3. Service wire condition: | <input checked="" type="checkbox"/> OK | <input type="checkbox"/> repair | |
| 4. Service wiring | <input checked="" type="checkbox"/> copper | <input type="checkbox"/> aluminum (OK) | |
| 5. Subpanel feed wiring: | <input type="checkbox"/> copper | <input checked="" type="checkbox"/> aluminum (OK) | <input type="checkbox"/> no subpanel |
| 6. Branch wiring (220V): | <input type="checkbox"/> copper | <input checked="" type="checkbox"/> aluminum (OK) | |
| 7. Branch wiring (110V): | <input checked="" type="checkbox"/> copper | <input type="checkbox"/> aluminum | |
| 8. Intersystem bond lug: | <input type="checkbox"/> acceptable | <input type="checkbox"/> missing | |
| 9. Grounding methods: | <input type="checkbox"/> ground rod | <input checked="" type="checkbox"/> concrete encased electrode x 2 | <input type="checkbox"/> cold water pipe |
| | <input type="checkbox"/> 2nd ground rod | <input type="checkbox"/> into wall (not visible) | <input type="checkbox"/> into meter <input type="checkbox"/> not visible |
10. Main disconnect location: at main (service) panel Main panel size: illegible amps
11. Panel location - Main panel: north exterior garage Disconnect size: 200 amps
12. Panel location - Subpanel #1: garage Service wire size: illegible gauge
13. Panel location - Subpanel #2: west exterior elevation
13. Panel location - Subpanel #3: rear patio planter
14. Comments:

GENERAL NOTES

- a. NOTE - all repairs to electrical systems should be performed by a licensed master electrician.
- b. NOTE - Anti-oxidant/corrosion protection gel has been properly applied to aluminum panel feeds. This gel is no longer required per NEC, but TX Real Estate Commission requires inspectors to report its absence. Check periodically for signs of corrosion.
- c. NOTE - AFCI breakers at the panel will not be manually tested if the home is occupied.
- d. NOTE - Thermal imaging did not reveal any evidence of overheating breakers or wiring at the panels other than normal temperature fluctuations (+/- 10 degrees) from breakers that are in use.
- e. LIMITATION - When present, solar panels, their associated wiring, and distribution panels for solar systems are specifically excluded from this report.

SERVICE (MAIN) PANEL

- f. Exterior service panel required to be sealed to wall to prevent water from entering panel and to prevent water from entering home through penetration between panel and home.
- g. Deadfront cover of exterior subpanel is heavily corroded at bottom edge. Deadfront is missing a screw to secure cover in place. Recommend adding.
- h. NEWER CODE - NEC 2017 standards require exposed ground wires be protected with rigid conduit.

SUBPANEL - GARAGE

- i. NEWER CODE - Beginning on November 1, 2020, NEC 210.8A requires all 220V receptacles on exterior, garage, laundry, or within 6' of a water source be GFCI protected (includes clothes dryers, car chargers, kitchen ovens, plug-in water heaters, but *excludes* HVAC condensers).
- j. NEWER CODE - Beginning with homes built after 2002, bedrooms should be protected with Arc Fault Circuit Interrupters (AFCI's). For homes built after 2015, all conditioned rooms (excluding bathrooms) should be protected with AFCI's. AFCI's protect against arcing of electricity in the circuit, which may lead to fires. Currently, home is not equipped with AFCI's.
- k. National electrical code 310.15B allows for up to 3 wires to be grouped together in a chase or conduit as ampacity is reduced; any grouped wires must be separated within 24" of the panel. However, running more than 3 wires through a single knockout is extremely common in older panels and inspector cannot verify if wires are separated within 24 in the wall; therefore, noted for record.

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l. NEWER CODE - Beginning in Nov 2020, NEC requires that kitchen garbage disposals are installed on a GFCI receptacle or circuit, although this is recommended regardless of year of construction.

m. Since 2014 NEC, dishwashers are required to be on a GFCI receptacle or circuit, although this is recommended regardless of year of construction.

SUBPANEL - WEST EXTERIOR ELEVATION (a/c condensers and pool equip)

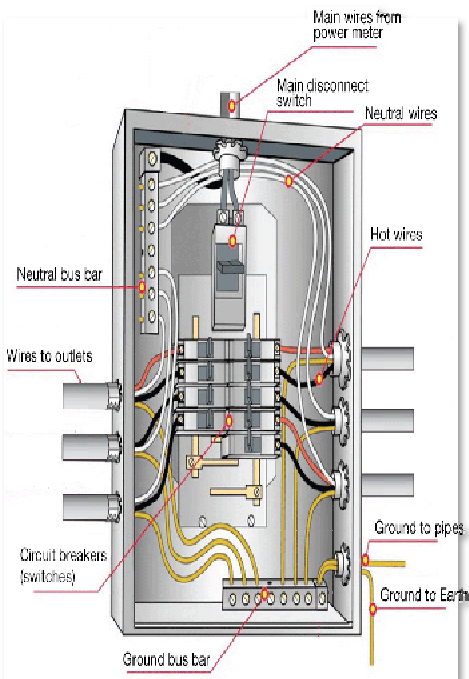
n. No deficiencies observed.

SUBPANEL - REAR PATIO PLANTER (future hot tub)

o. Subpanel on wall by rear patio is missing its protective deadfront cover. This is required to prevent inadvertent shock and must be replaced.

p. Open knockout at bottom of service panel is required to be sealed to prevent pest entry.

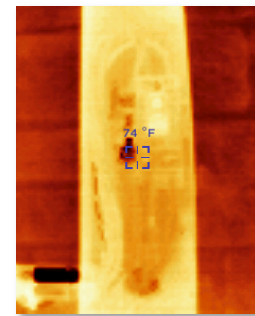
q. Ground wire inside rear patio subpanel is not connected to grounding bar. This should be investigated and repaired by licensed electrician.



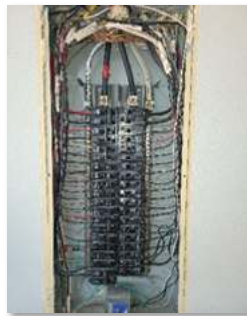
Electrical Panel Components



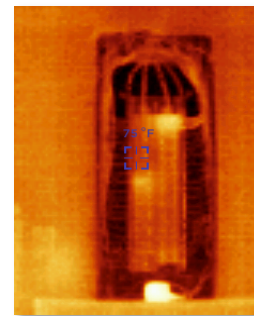
Interior of service panel



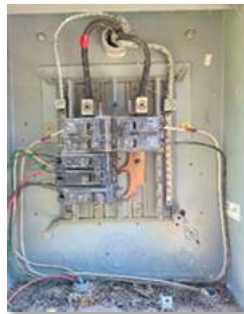
Thermal imaging of service panel (OK)



Interior of subpanel



Thermal imaging of subpanel (OK)



Interior of subpanel on west elevation



Interior of subpanel by rear patio



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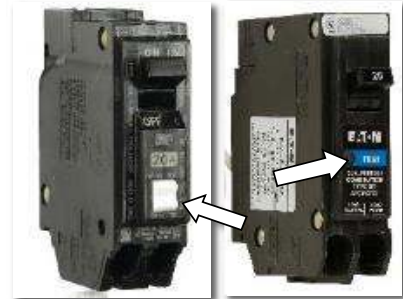
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Item G



Item H



Item J (sample photo of AFCI breakers)



Item O



Item P



Item Q

I NI NP D **B. Branch Circuits, Connected Devices, and Fixtures**

BUYER TAKE NOTE →

- Type of wiring: copper aluminum (*recommend inspection by electrical professional*)
- GFCI protected outlets:

| | PRESENT? | | | RESET LOCATION (IF PRESENT) |
|----------------------|---|--|------------------------------|-----------------------------|
| Kitchen: | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No | <input type="checkbox"/> n/a | at kitchen outlets |
| Bathrooms: | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No | <input type="checkbox"/> n/a | at each bath |
| Laundry wall outlet: | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No | <input type="checkbox"/> n/a | at outlet |
| Laundry appliances: | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | <input type="checkbox"/> n/a | |
| Garage: | <input type="checkbox"/> Yes | <input type="checkbox"/> No | <input type="checkbox"/> n/a | at garage alcove |
| Exterior: | <input type="checkbox"/> Yes | <input type="checkbox"/> No | <input type="checkbox"/> n/a | unknown |
- All visible junction boxes covered: OK Repair
- Ceiling fan operation acceptable: OK Repair
- 3-prong (grounding) outlets: OK Repair (*representative accessible sample checked*)
- Exterior in-use outlet covers: OK Repair (*not required under overhangs*)
- Smoke alarms
 - (1) each bedroom OK Repair
 - (1) each bedroom hall OK Repair
 - (1) per floor min OK Repair
 - CO detector at bed halls OK Repair Not required
 - alarms interconnected OK Repair
- Door bell function acceptable: OK Repair Not present Smart camera (not tested)
- Comments:

OUTLET NOTES

- NOTE - inspector tested all accessible outlets. However, if home is occupied, some outlets may be concealed behind furnishings and not tested.
- NEWER CODE - 2008 NEC standards require tamper resistant (TR) outlets in living spaces and weather resistant (WR) outlets in wet & exterior locations.



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- d. NEWER CODE - 2017 NEC standards require GFCI (ground-fault circuit-interrupter) protection for all standard receptacles serving laundry areas. This includes the 20-amp designated receptacle for the washer (and gas dryer, as applicable) and any general-use receptacles.
- e. NEWER CODE - Beginning on November 1, 2020, NEC requires mechanical service outlets located in attic spaces to be GFCI protected.
- f. Outlet in backsplash above kitchen microwave is not secured to wall and can be pulled out. Recommend repair.
- g. GFCI outlet at dining room is cracked at grounding pin and should be replaced.
- h. Protective faceplate missing from outlet in garage below irrigation controller.

LIGHT FIXTURE / SWITCH NOTES

BUYER TAKE NOTE →

- i. LIGHT SWITCH NOTE - Extra switch(s) at in-law suite, on wall across from under stair closet, at upper west bedroom, and at converted balcony rooms are assumed to be installed for a future light / fan combo and is not currently in use.
- j. NOTE - inspector tests all ceiling fans on high to test for wobble / balance.
- k. BUYER TIP - pull chains on ceiling fans often become difficult to pull when the glass light cover rotates. Removing and reinstalling the glass light cover in alignment with the pull chain will solve this issue.
- l. Glass globe missing from light fixture inside front entry coat closet.
- m. Upper west bathroom attic light bulb needs replacement.
- n. Light fixtures within 3' horizontal and 8' vertical of a tub edge or shower base are required to be water resistant type. The recessed can above primary bathtub and both upper bathrooms must be replaced with water resistant / sealed type can.
- o. Light switch for primary shower light is installed upside down.
- p. Beauty ring for in-law suite ceiling fan has fallen down and should be pushed back into place (cosmetic only).
- q. Screws missing from faceplates of light switches and outlets throughout house.
- r. Inspector unable to locate remote control for west side converted balcony fan. Recommend obtaining from seller.
- s. Inspector unable to operate undercabinet lighting (these are assumed to be operated from left side wall switch). Recommend having licensed electrician repair, or asking seller if a hidden switch exists.
- t. LIMITATION - Inspector did not trip / test exterior outlets for GFCI protection as location for reset could not be located in garage due to stored belongings.

SMOKE & CARBON MONOXIDE DETECTORS

- t. MAINTENANCE TIP - Fine dust, particularly from new construction and drywall, can cause a false alarm on smoke and carbon monoxide detectors. If this occurs, units can be removed and blown out with compressed air, with marginal success. Replacement may be necessary. (during construction, detectors should be covered with plastic until home is ready for occupation).
- u. MAINTENANCE TIP - manufacturers recommend that smoke alarms be tested monthly and replaced every 10 years. Upon occupying, buyer should check date on smoke detectors and act accordingly.
- v. INSPECTION LIMITATION - inspector will not operate or test smoke and carbon monoxide alarms that appear to be connected to an alarm system or smart device.
- w. NOTE - the test button on a smoke or CO alarm is not a test of function under real-life circumstances but merely a power, audibility, and interconnectivity observation.
- x. TIRED OF CHANGING BATTERIES? Consider replacing your existing smoke / CO alarms with newer lithium ion smoke alarms. There is no battery to change (or beeps to chase in the middle of the night!) and they last for 10 full years.



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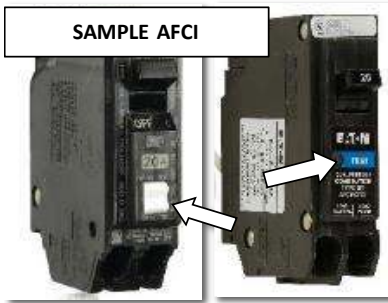
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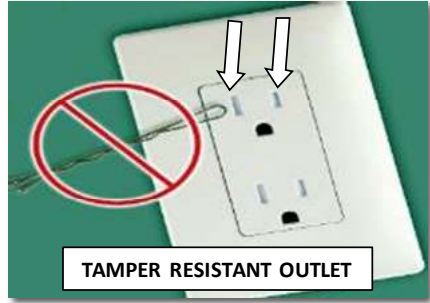
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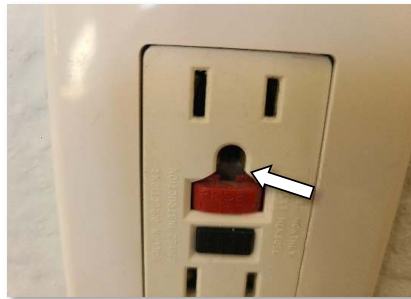
Item B



Item C



Item F



Item G



Item H



Item L



Item N



Item P



Item Q

I NI NP D

C. Other

A. General wiring and electrical observations

1. Comments:

- a. Exposed electrical wire in floor behind primary bath tub should be capped and terminated inside an approved electrical junction box - wire was not live at time of inspection but may become live during remodel work or if breakers / switches turned on elsewhere in home. Repair.



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Item A

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

| | | | | |
|--|-----------------------------|-----------------------------|----------------------------|-----------------------------|
| <input type="checkbox"/> I | <input type="checkbox"/> NI | <input type="checkbox"/> NP | <input type="checkbox"/> D | A. Heating Equipment |
| 1. Type of systems: <input checked="" type="checkbox"/> Forced air gas <input type="checkbox"/> Forced air heat pump 2. Energy sources: <input type="checkbox"/> Electric <input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane <input type="checkbox"/> Other: _____ 3. Comments: a. NOTE - Refer to 'Section B - Cooling Equipment' below for ALL notes on heating equipment and exterior condenser units. | | | | |

| | | | | |
|----------------------------|-----------------------------|-----------------------------|----------------------------|-----------------------------|
| <input type="checkbox"/> I | <input type="checkbox"/> NI | <input type="checkbox"/> NP | <input type="checkbox"/> D | B. Cooling Equipment |
|----------------------------|-----------------------------|-----------------------------|----------------------------|-----------------------------|

INSIDE UNIT(S) (heating & cooling equipment)

| | | | |
|--|----------------|---|--------------------------|
| | UNIT #1 | Type of system: <input checked="" type="checkbox"/> Forced air gas <input type="checkbox"/> Forced air heat pump <input type="checkbox"/> Mini-split <input type="checkbox"/> Geothermal Location: <u>attic, east side</u> Serves: <u>lower level</u> Manufacturer: <u>Carrier</u> a/c evaporator <u>Carrier</u> furnace A/C differential: <u>66-45</u> degrees (<i>recommended differential is 16-21 degrees</i>) Specs: <u>88,000</u> BTU heat <u>5.0</u> tons cooling Age: <u>2014</u> a/c <u>2014</u> furnace Float switches: <input type="checkbox"/> Primary <input type="checkbox"/> Secondary <input checked="" type="checkbox"/> Drain Pan <input type="checkbox"/> None Drain terminations: Primary: <u>upper east sink</u> Secondary: <u>east bed window</u> Pan: <u>safety switch</u> | BUYER TAKE NOTE → |
|--|----------------|---|--------------------------|

| | | | |
|--|----------------|---|--------------------------|
| | UNIT #2 | Type of system: <input checked="" type="checkbox"/> Forced air gas <input type="checkbox"/> Forced air heat pump <input type="checkbox"/> Mini-split <input type="checkbox"/> Geothermal Location: <u>attic, west side</u> Serves: <u>upper level</u> Manufacturer: <u>Carrier</u> a/c evaporator <u>Carrier</u> furnace A/C differential: <u>66-47</u> degrees (<i>recommended differential is 16-21 degrees</i>) Specs: <u>66,000</u> BTU heat <u>2.5</u> tons cooling Age: <u>2014</u> a/c <u>2014</u> furnace Float switches: <input type="checkbox"/> Primary <input type="checkbox"/> Secondary <input checked="" type="checkbox"/> Drain Pan <input type="checkbox"/> None Drain terminations: Primary: <u>upper west sink</u> Secondary: <u>east bed window</u> Pan: <u>safety switch</u> | BUYER TAKE NOTE → |
|--|----------------|---|--------------------------|

- | | | | |
|---|--|--|---|
| 1. Gas shut-off valve present: | <input checked="" type="checkbox"/> OK | <input type="checkbox"/> Repair | <input type="checkbox"/> N/A (heat pump) |
| 2. Closet door sealed: | <input checked="" type="checkbox"/> OK | <input type="checkbox"/> Repair | <input checked="" type="checkbox"/> N/A (heat pump or attic unit) |
| 3. Furnace vent flue: | <input checked="" type="checkbox"/> OK | <input type="checkbox"/> Repair | <input type="checkbox"/> N/A (heat pump) |
| 4. Overflow pan condition: | <input checked="" type="checkbox"/> OK | <input type="checkbox"/> Repair | <input type="checkbox"/> Vertical unit (no pan) |
| 5. Visual inspection of blower compartment: | <input type="checkbox"/> OK | <input type="checkbox"/> Repair | <input checked="" type="checkbox"/> Not visible (sealed) |
| 6. Visual inspection of heater compartment: | <input type="checkbox"/> OK | <input checked="" type="checkbox"/> Repair | <input type="checkbox"/> Not visible (sealed) |
| 7. Visual inspection of evaporator coil: | <input type="checkbox"/> OK | <input type="checkbox"/> Repair | <input checked="" type="checkbox"/> Not visible (sealed) |
| 8. Outside temperature: | <u>67-78</u> degrees F | | |



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9. Comments:

NOTES, TIPS, AND INFORMATION

- a. BUYER NOTE - The emergency overflow for attic a/c unit(s) is located as noted above. Water dripping from this location will be an indication of a major problem with the air conditioning unit and immediate service / repair will be required.
- b. MAINTENANCE TIP - Just as your car drips water when running the a/c, so does the a/c in your home. This condensate is drained through a pipe that terminates either to your sink drain or to the exterior (see above info for location). Pouring a 1:3 solution of white vinegar and water (bleach not recommended) down the primary drain line quarterly will help prohibit growth of mildew and prevent clogging in drain line.
- c. BUYER TIP - most modern HVAC systems have a delay between switching from air conditioning to heat that can take up to 5 minutes (used to protect heat pump devices).
- d. NOTE - The inspection of an HVAC unit is a visual, non-intrusive inspection and does not employ special means of testing such as pressure gauges, refrigerant testing, and wiring continuity. Inspector will measure the Delta-T at the coil and run the heat and a/c cycles through normal operations to look for indications of deficiencies. This will accompany a visual inspection of furnace, evaporator coil, heat exchanger, and blower unit components (when accessible), ductwork, wiring, flues, etc. Complete evaluation of heat exchanger interior requires dismantling and is beyond the scope of this inspection. Due to fragility and reset delays, float switches are not tested. When signs of deficiencies are noted that require specialized testing, further evaluation by a licensed HVAC technician will be recommended.
- e. NOTE - It is impossible for inspector to determine if a pinhole leak has occurred within the refrigerant system, particularly on newer units. Inspector will test for proper function at time of inspection and will make recommendations for repair or further review, but makes no claims as to warrantability or sustainability of system past inspection date.
- f. INSPECTION LIMITATION - Could not visually inspect the evaporator coil for damage or dust buildup because the access panel was sealed.
- g. LIFE EXPECTANCY - Interior unit(s) manufactured at dates noted above and with the exception of the below, is functioning properly at time of inspection. Typical life expectancy for this type of equipment is approx. 15-20 years but can be extended with proper maintenance.

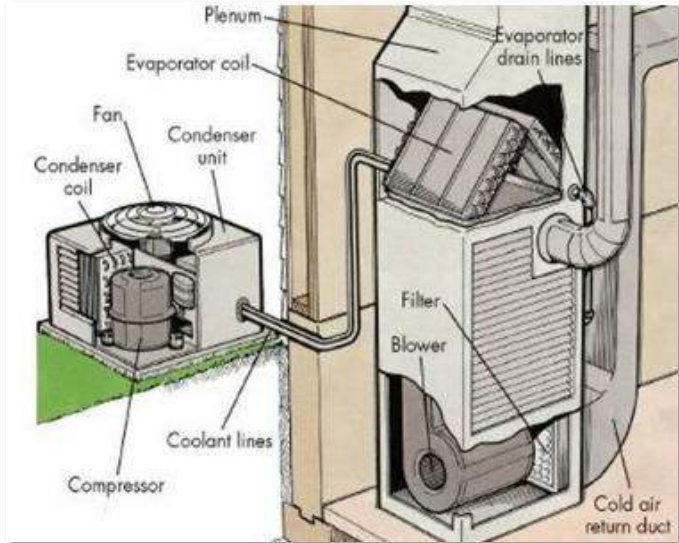
RECOMMENDED REPAIRS

- h. The primary condensate drain line at the HVAC unit is lacking insulation past the first 24" which is required to prevent condensation from sweating / dripping onto attic floor which may eventually cause staining to the drywall ceiling below. Recommend insulating entire length of line.
- i. Furnace for lower level HVAC unit would not ignite. Furnace provided a flashing error code #31 which indicates a failed pressure switch. Investigation and repair by licensed HVAC tech required.
- j. Furnace for upper level HVAC unit has a strong orange tint to the flame (in lieu of the standard blue flame). While HVAC tech is repairing lower level furnace, recommend examining to determine if furnace orifices were properly converted for propane gas.

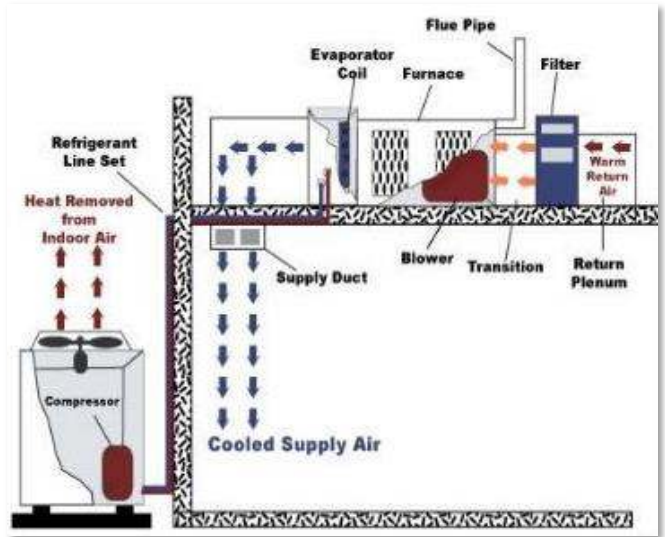
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| Prepared For: John and Jill Smith | | | |

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Typical HVAC System (vertical; in closet)



Typical HVAC System (horizontal; in attic)



Interior of HVAC unit (OK)



Photo of furnace in operation



Item A (sample photo)



Item B (sample of condensate at sink)



Item B (sample of where to pour vinegar)



Item H



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Item J

EXTERIOR CONDENSER UNIT(S)

| | | | |
|----------------|-----------------------|---|---|
| UNIT #1 | Type of system: | <input checked="" type="checkbox"/> Traditional A/C | <input type="checkbox"/> Heat pump |
| | Serves: | lower level | |
| | Manufacturer: | Carrier | Size: 4.0 tons Year: 2014 |
| | Refrigerant type: | <input type="checkbox"/> HCFC-22 or R-22 | <input checked="" type="checkbox"/> HFC-410a or R410a |
| Breaker size: | 40 amp req'd by manuf | 50 amp installed | |
| | | | |
| UNIT #2 | Type of system: | <input checked="" type="checkbox"/> Traditional A/C | <input type="checkbox"/> Heat pump |
| | Serves: | upper level | |
| | Manufacturer: | Carrier | Size: 2.5 tons Year: 2014 |
| | Refrigerant type: | <input type="checkbox"/> HCFC-22 or R-22 | <input checked="" type="checkbox"/> HFC-410a or R410a |
| Breaker size: | 25 amp req'd by manuf | 20 amp installed | |

- 1. Condensing unit clearances: OK Repair
- 2. Condensing unit disconnect in sight of unit: OK Repair
- 3. Condensing unit fins condition: OK Repair
- 4. Refrigerant line insulation condition: OK Repair
- 5. Comments:

NOTES, TIPS, AND INFORMATION

- a. NOTE - inspector does not remove covers on condenser units.
- b. LIFE EXPECTANCY - Exterior condenser(s) manufactured on date noted above and with the exception of the below, is functioning properly at time of inspection. Typical life expectancy for this type of equipment is approx. 15-20 years but can be extended with proper maintenance.
- c. MAINTENANCE ITEM - seasonal cleaning of AC condenser coil fins is recommended to remove dirt and dust that inhibits proper operation. These can be gently rinsed with a hose (no hard spray).

RECOMMENDED REPAIRS

- d. NEWER CODE - Refrigerant lock caps are now required on AC condensers (unless barricaded behind a 6' fence) per 2009 IRC M1411.6.
- e. NEWER CODE - IECC R403.4.1 requires UV protection / physical damage protection on exterior AC condenser refrigerant line insulation.
- f. Although the a/c condenser disconnect switch does not require 30" x 36" clearance (NEC 110.26.E), for servicing and safety reasons it should not be located directly behind the condenser unit (although this is common; no repair recommended).
- g. The circuit breaker installed at the electric panel exceeds the maximum circuit breaker size required by the AC condenser manufacturer (50 amp breaker installed vs 40 amp req'd by manufacturer), meaning that overcurrent protection will not be available at the limits recommended by manufacturer. Breaker replacement recommended.



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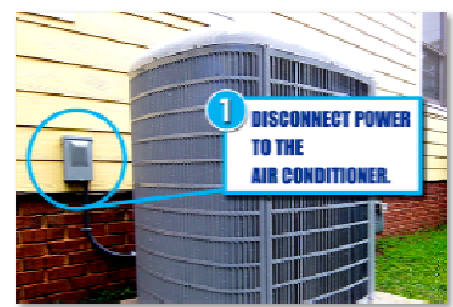
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Item D (sample photo of locking caps)



Item E (sample photo of UV protection)



Item F

I NI NP D **C. Duct Systems, Chases, and Vents**

- 1. Insulation damage: OK Repair
- 2. Fresh air intake present: Yes No Setting: n/a
- 3. Fresh air intake filter: Yes No Location: n/a
- 4. Duct type: Flex Metal Rigid board
- 5. Duct insulation: R-4.2 R-6 R-8 Unknown
- 6. Ancillary duct devices: Zone dampers Ionizer UV Light Dehumidifier
- 7. Duct dustiness: Heavy Moderate Light Not visible
- 8. Thermostat type: Digital Mercury Wi-Fi / Smart / Nest
- 9. Filter location: Wall Ceiling At HVAC unit
- 10. Filter size: 20x25x4 and 16x25x4
- 11. Comments:

BUYER TAKE NOTE →
 BUYER TAKE NOTE →

NOTES, TIPS, AND INFORMATION

- a. MAINTENANCE ITEM - Remember to periodically change HVAC filters to save energy and keep system running efficiently. Standard filters should be changed every 2-3 months while pleated media filters (large 4" wide filters at HVAC unit) should be changed every 6-12 months, or as conditions warrant.
- b. INSPECTION LIMITATION - Inspector could not view all ductwork as some was obscured from view or buried in ceilings, walls, and attic insulation.

COMMON AIRFLOW ISSUES / HOT & COLD ROOM ISSUES IN MOST HOMES

BUYER TAKE NOTE →

- c. NOTE ON AIR BALANCING - Residential homes are notorious for having poorly balanced air flow between rooms. One room may feel hot while the other is cooler, and can vary greatly as the seasons change. This is due to many factors including size and amount of exterior walls in the room, insulation thickness, size and quantity of windows, direction windows face in relation to sun, duct length and size, and many other factors. Registers in each room can be adjusted to allow for more or less airflow to the room. In some cases, the ducts will also have an internal damper just above the register location. Evaluation of airflow balancing or distribution is not part of this inspection. Should buyer notice over time that some rooms experience significant heat or cold differentials when compared to common areas, adjustment of the registers or internal dampers may be necessary. If this does not solve the issue, more drastic solutions can be implemented such as those described below. Use of an anemometer to measure airflow at each duct register will help identify problem areas.
- d. AIR LEAKAGE - older or poorly installed ductwork is prone to air leakage at joints and connections. This can contribute to as much as 25% loss of efficiency of the HVAC system. Duct blast tests can be performed to determine rate of air loss if desired.
- e. BALANCING PRESSURE - to assist with air balancing between rooms, interior doors can/should be undercut to allow 3/4" - 1" of space between door bottom and flooring to allow for air flow. Alternatively, jumper ducts or return air ducts can be installed in larger rooms.



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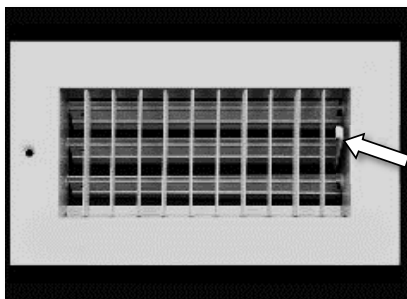
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- f. COMMON ISSUES IN FLEX DUCTS - Nearly all flex duct in residential homes have one or more of the following deficiencies that affect airflow & friction loss as a result of improper installation:
 1. sharp, acute bends (bends should be no sharper than 1 duct diameter)
 2. ductwork that is compressed by straps or framing (straps should be loosened &/or saddles installed)
 3. sagging between supports (max sag should be 1/2" per foot)
 4. duct that is not fully extended (see diagram below for friction loss rate per compression %)
 5. too many ducts split off a single junction box, resulting in loss of air flow or junction boxes that are square rather than acute, resulting in turbulence / loss of flow
 6. sheet metal wyes not being used in lieu of rigid board distribution boxes to properly direct air flow
- g. COMMON ISSUE IN HORIZONTAL HVAC SUPPLY PLENUMS - With the type of HVAC supply plenum installed in this home, ductwork should not penetrate the end of the supply air plenum at the HVAC unit. Air from the blower fan is directed straight into the plenum. Air then bounces off the end of the plenum before being forced equally to the ducts coming off of the sides of the plenum. Thus, any ductwork installed off the end of the plenum would receive more air than ducts on the side, leading to an improperly balanced delivery system.
- h. COMMON ISSUE IN HORIZONTAL HVAC SUPPLY PLENUMS - HVAC supply plenums are recommended (but not required) to have at least 18-24" between the end of the plenum and the closest flex duct penetration. Since air from the blower fan forces air straight into the plenum, the air creates turbulence when it hits the far end of the plenum. Thus, space for this turbulence should be allowed to ensure equal air flow & distribution into all the duct runs.
- i. SHOULD I REPAIR? - All the above issues are unfortunately quite common in residential construction. Although the duct system can be analyzed and repaired by a licensed and qualified HVAC technician, the cost is often too exorbitant compared with the potential savings, unless there are extreme temperature swings observed between rooms that affect occupant comfort or livability.

RECOMMENDED REPAIRS

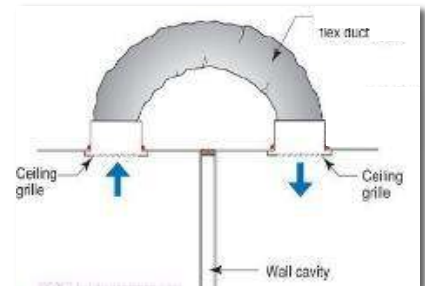
- j. NEWER CODE - Fresh air ventilation systems are required as of 2015 IECC R403.5 & 6 and 2015 IMC 401.2 & 403 if blower test reveals greater than 5 air changes per hr are required. Fresh air intake is not present in this home. Not all jurisdictions require adoption of this code and this is not typical in homes built prior to 2015.
- k. NEWER CODE - Latest energy efficiency standards require that ductwork be insulated to an R factor of R-8. Current ducts in home are insulated to R-6. This was not a requirement at the time the home was built.
- l. Interior of ductwork and plenums have a heavy layer of dust and a duct cleaning is recommended especially for occupants with allergen sensitivity.



Item C (normal register adjustment)



Item C (optional damper inside duct)



Item C (transfer duct between rooms)

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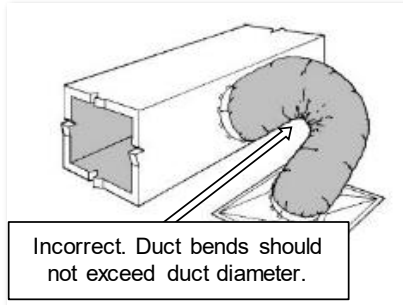
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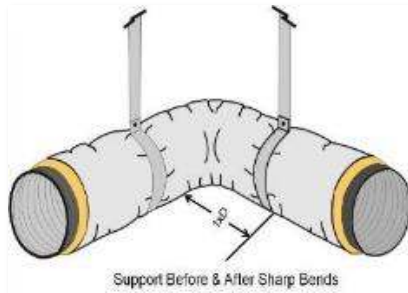
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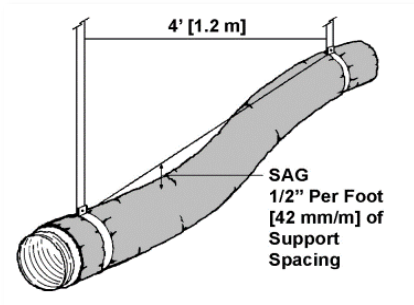
Item F1 (improper tight bends)



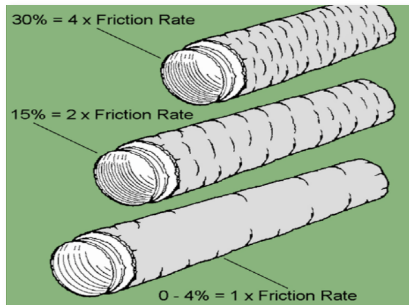
Item F1 & F2 (support at bends)



Item F2 (saddles can prevent crimping)



Item F3 (allowable sag)



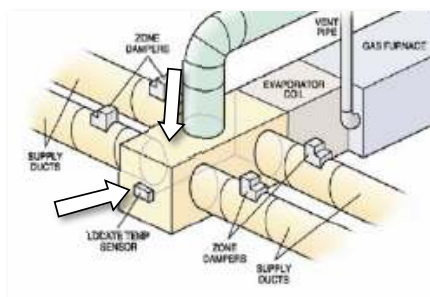
Item F4 (loss due to not pulling tight)



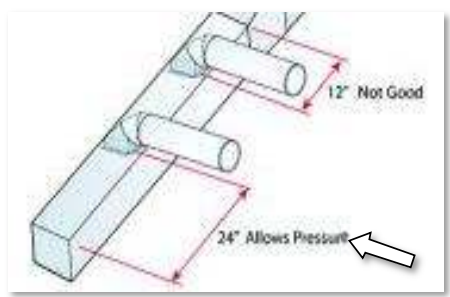
Item F5 (poor distribution box)



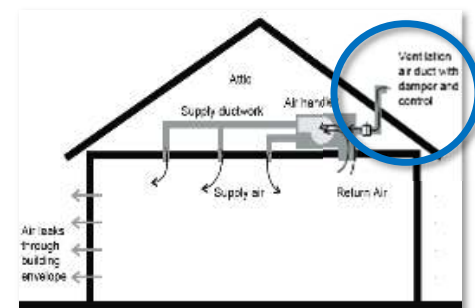
Item F6 (sheet metal wye)



Item G



Item H



Item J (fresh air intake)



Item L



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I NI NP D **D. Other**

- A. Other HVAC observations
 - 1. Comments:
 - a. No deficiencies observed.

IV. PLUMBING SYSTEM

I NI NP D **A. Plumbing Supply, Distribution Systems and Fixtures**

BUYER TAKE NOTE →

1. Location of water meter: by power pole on Overland Pass
2. Location of main water supply valve: at meter
3. Static water pressure reading: 65 psi (40-80 psi acceptable range)
4. Type of supply piping material: copper (viewed at entry to water heater)
5. Type of supply piping material: not visible (buried) (viewed at property water shutoff)
6. Type of interior piping material: Copper Galvanized pipe CPVC PEX: _____
7. Functional flow: OK Repair
8. Operation of hose bibbs: OK Repair
9. Backflow preventer at meter: OK Repair N/A (may not be required by jurisdiction)
10. Vacuum breakers on hose bibbs: OK Repair
11. Comments:

NOTES, TIPS, AND INFORMATION

- a. NOTE - All interior piping systems capable of becoming energized should be bonded to the grounding system. Connecting the pipes at the water heater piping is a good way to ensure compliance and visibility. However, continuous bonding of metallic piping can be disturbed by the insertion of CPVC or PEX piping within the system. Therefore, inspector can not verify continuity of bonding.
- b. NOTE REGARDING PEX LAWSUITS & RECALLS- Home is equipped with PEX (cross-linked polyethylene) water lines. PEX is an alternative to traditional copper lines, and while these lines are approved for domestic water line use and installed in most newer homes, in the past some manufacturers have been the subject of class-action lawsuits for failures from dezincification, oxidation, improper installation, and fatigue, especially when used with water containing oxidizing chemicals like chlorides and fluorides. Homes built with piping and/or fittings from the following manufacturers had well-documented failures and were part of these lawsuits:
 - Zurn (1996-2010)
 - Kitec / IPEX / XPA / PlumbBetter / PE / PERT / Kerr / WarmRite / oKT (1995-2007)
 - NIBCO (2005-2012)
 - Polybutylene (1978-1996) is a different type of grey water line that has known failure issues
 - Uponor / Vanguard / Viega / Apollo red & blue solid-color PEX is discontinued and currently in an open lawsuit; outcome TBD
 However... with the exception of the above manufacturers, when properly installed with approved materials, PEX is as leak-proof as any other piping.
- c. NOTE - No movement at the water meter indicates no *significant* leak of the water supply system at the time of the inspection. Minor leaks can not be determined using this method. Underground or in-wall piping is not inspected.
- d. NOTE - Due to damage liability, inspector does not block shower drain to flood test shower pans. Showers are run for a minimum of 10 minutes and observed for leaks and/or backups.
- e. MAINTENANCE TIP - even small drips at plumbing fixtures can lead to big costs and should be immediately repaired. See diagram below for water wasted on an annual basis from common drips.
- f. MAINTENANCE TIP - over time, faucet and showerhead orifices can become partially clogged with calcium deposits, reducing water flow and causing wild spray. These deposits can usually be dissolved by placing showerhead in white vinegar overnight (either by detaching showerhead or filling a bag with vinegar and tying around head without removing)



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- g. MAINTENANCE TIP - over time, toilet flappers (red disc in photo below) can become worn which will result in a toilet that drips water into the toilet bowl, causing tank to refill periodically. Toilet tank bolts (see photo) can also become rusted and leak. Recommend changing out these parts every 5-10 years.
- h. MAINTENANCE TIP - Exterior hose bibbs should be insulated in the winter months using an insulating cover like that shown in the photo below to prevent freezing and cracking of water lines.
- i. MAINTENANCE TIP - shutoff valves below toilets and kitchen / bath faucets tend to corrode over time on the exterior while the rubber stoppers on the inside disintegrate. This can cause leaks when valve is operated, or cause valve to not fully stop the flow of water when turned off. This is a maintenance item that requires sporadic repair on most homes.
- j. MAINTENANCE TIP - a common complaint with many homeowners is the time it takes for hot water to reach the kitchen faucet. A simple solution is to install a point-of-use tankless water heater under the kitchen sink. These are available in 110V electric models and are fairly easy to install.
- k. BUYER TIP - Handheld wand at shower/ tubs should not be lower than the tub overflow when hanging in order to prevent backsiphoning of dirty water into the clean water supply. However, it is often not possible to shorten the hose, so instead caution should be used when bathing.
- l. NEWER CODE - Thermostatic mixing valves are required by newer building standards only in tubs with separate hot & cold handles to limit water temperature and prevent scalding. No thermostatic mixing valve was found; this was not typically installed in older homes.
- m. Nearly all tub spouts drip when showerhead is running. This is an extremely common item caused by a calcium buildup or an imperfect seal at the tub spout diverter valve. If dripping becomes extreme over time, spout can be replaced.

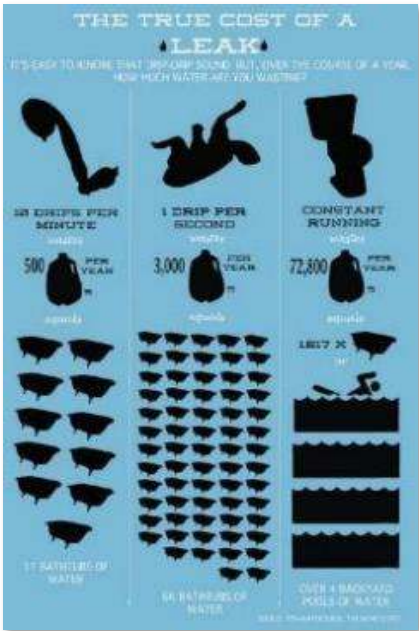
RECOMMENDED REPAIRS

- n. Grout void at inside face of primary bath shower curb should be sealed to prevent water entry.
- o. Upper east bath toilet is not secured and sealed to floor. This can damage wax ring and cause sudden leakage. Toilet should be removed to inspect condition of wax ring and floor flange and then fastened and caulked to floor. (no active leak noted at time of inspection)
- p. Primary bath toilet is not sealed to floor- recommend repair to prevent fouling of joint and possible loosening of toilet.
- q. Unused water line under kitchen sink should be capped to prevent leak should valve be inadvertently turned on.
- r. New shower glass leaks at the following - in laundry room at bottom bracket to right of door, in laundry room where shower glass meets right side wall at 18" high, and at primary shower glass behind bench. Repair.
- s. Handles at both upstairs tubs drip during operation. It is unknown if this dripping is also allowing water to enter wall cavity, and as such both handles should be evaluated and repaired.
- t. Handle at upper hallway toilet must be held down for a complete flush. Recommend adjusting.

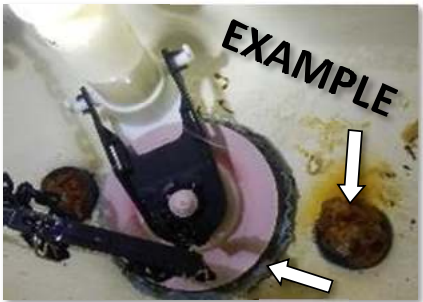
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Item E



Item G (example)



Item H (example)



Item I (example)



Item L (example)



Item M (example)



Location of water shutoff / meter



Item N



Item O



Item P



Item Q



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Item R



Item S

I NI NP D **B. Drains, Wastes, Vents**

- Overflows on bath sinks: Yes No (excluding vessel sinks)
- Type of drain piping material: PVC Cast Iron Combination Unknown (not visible)
- Location of exterior cleanouts: By house: septic By street: n/a
- Comments:

NOTES, TIPS, AND INFORMATION

- "Type of drain piping material" noted in Item 2 above was determined by viewing p-traps and cleanouts under sinks, vent pipe penetrations on roof, and observing cleanout cap material in yard (if present). Inspector does not and can not dig underground to determine type of drain piping material unless solicited to perform a sewer camera scope inspection for an additional fee. A home may include PVC piping and cleanouts at all visible above-ground areas, yet have antiquated cast iron piping underground.
- BUYER - TAKE NOTE! Inspector runs bathroom fixtures for approx. 10 minutes in an attempt to discover backups or clogs in the sewer lines. Although this is not part of a normal inspection procedure and this is excluded from the scope of this inspection, no backups were observed as part of this limited test. However, the majority of clogs develop once solids (tissues, paper, waste, etc) are introduced to the sewer lines, and not while water alone is run through the system.
Therefore, if a more comprehensive review of underground drain lines is desired, you may contact a licensed plumber to perform a hydrostatic test of system or a camera scope of drain lines.
- NOTE - inspector fills each bathroom sink with water before releasing drain stop in an effort to force large quantities of water into the p-trap and detect deficiencies. No leaks were detected.
- NOTE - Outside or below slab sewer lines, including lift stations or grinder pumps, are not part of the inspection. Vent lines inside walls can not be viewed.
- BUYER TIP - Overflow drains on bathtubs are often poorly sealed and although they shouldn't, can and do leak if tub is overfilled. Recommend periodically ensuring screws are tight and gasket material is in good order, and never fill a tub above this line intentionally.

RECOMMENDED REPAIRS

- Older homes are recommended to have a non-pressurized hydrostatic test (to test for leaks) and/or camera scope (to view for breaks, blockages, root intrusion, or improper slope) performed on the sewer line under the slab and in the yard. This testing is especially recommended when:
 - there are indications of foundation movement or prior repairs
 - cast iron drain lines are observed (cast iron tends to decay after approx. 30-40 years)
 - trees or root systems are observed in the vicinity of the cleanout or yard line (if location known)



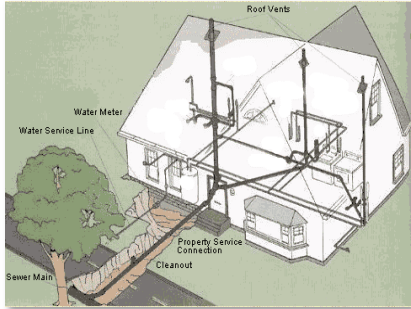
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Typical sewer and vent system

I NI NP D **C. Water Heating Equipment**

1. Energy Source: Gas Electric Oil Hybrid
2. Capacity: below Gal:
3. Type: Tanked Tankless / Instantaneous
4. Add'l specs: Circulation pump Floodstop auto valve
 2 individual tanks 2 tanks in series 2 tanks in parallel
5. Unit #1: Gal: 38 BTU: 34,000 Age: 2015 Manuf: Rheem Loc: west upper attic
5. Unit #2: GPH: 301 BTU: 199,900 Age: 2015 Manuf: Navien Loc: garage attic
6. Gas shut-off valve present: OK Repair Elec
7. Cold water shutoff present: OK Repair
8. Corrosion on connections: OK Repair
9. Visible evidence of damage: OK Repair
10. Combustion / exhaust ducts: OK Repair N/A (N/A for electric, attic, or open garage unit)
11. Safety pan present: OK Repair N/A
12. Expansion tank present: OK Repair N/A (required on homes with RPZ/check valve)
13. Temp setting at water heater(s): 125 Water temp as measured at kitchen sink = 120 °
14. TPR & overflow drain outlet locations: exterior corner of garage and west elevation
15. Comments:

BUYER TAKE NOTE →

NOTES, TIPS, AND INFORMATION (TANKED UNIT)

- a. MAINTENANCE TIP - water heaters (both tanked and tankless) should be flushed and inspected/maintained by a service provider on a yearly basis to remove sediment and scale deposits which will greatly improve efficiency and extend life of unit.
- b. MAINTENANCE TIP - most gas water heaters constructed after 2005 are FVIR type tanks equipped with a combustion air intake along the bottom edge of the tank. This provides fresh air to the combustion chamber flame. The screen surrounding the bottom of the tank should be kept clear of dust and debris so airflow is not blocked.
- c. NOTE - Due to fragility, inspector does not physically operate TPR valves or water shutoff valves on units more than 5 years old.
- d. Although not required by standards (and if home is equipped with copper piping and not PEX or CPVC) it is a good recommendation to install a bonding wire, or 'jumper', between the cold and hot water lines on the water heater for two reasons; 1) it reduces the chances of corrosion (along with the use of dielectric unions), and 2) the bonding wire helps to complete the electrical ground of the entire plumbing piping system. Metal pipes are required to be grounded, and this is normally done by grounding the cold water inlet pipe to the home. The water heater, however, creates a break between the cold water pipes and the hot water pipes in the home; the jumper wire bridges this break.
- e. LIFE EXPECTANCY - Water heater(s) manufactured on above noted date and with the exception of the below, is functioning properly at time of inspection. Typical life expectancy for this type of equip is approx. 10-15 years but can be extended with proper maintenance.



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|---|--|
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 Matthew@ArmadilloInspection.com
 www.ArmadilloInspection.com
 512.903.3093
 Austin, TX

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Inspected By: Matthew Kenny
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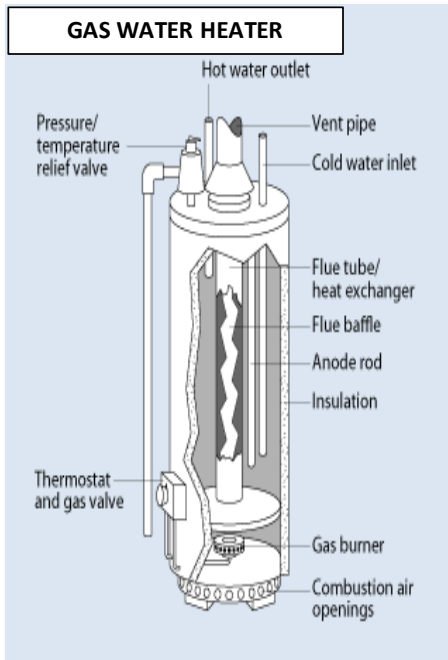
f. Water heater combustion chamber showed minor corrosion, which is typical for this age unit. Flame was steady and consistently blue with very little orange hue, which is a sign of complete combustion.

NOTES, TIPS, AND INFORMATION (TANKLESS UNIT)

- g. **BUYER TIP** - The temperature control panel for the tankless water heater is located on the unit.
- h. **MISCONCEPTION ABOUT TANKLESS WATER HEATERS** - tankless water heaters are often called "instant" water heaters, which is a bit of a misnomer. The tankless water heater only turns on its flame when hot water is called for at a fixture and does not waste energy heating 40-50 gallons of tanked water like a normal water heater. So in that sense, it heats water the "instant" it is called for. However, unless equipped with a circulation pump, it still takes 30-90 seconds for hot water to travel through the house and reach the fixture, depending on how far away the fixture is from the heater.
- i. **MAINTENANCE TIP** - the water inlet line on most tankless water heaters is equipped with a filter. This should be removed and cleaned during yearly flushing and maintenance. (see photo).
- j. **BUYER NOTE** - it is common that when tankless gas water heaters kick on, a puff of exhaust gas is emitted briefly. Buyer should not be concerned with a gas leak unless odor persists after initial startup.
- k. From a brief visual inspection, tankless water heater appeared to be in good shape with no signs of corrosion. Heating elements can not be removed for a complete inspection.

RECOMMENDED REPAIRS

g. No deficiencies observed.



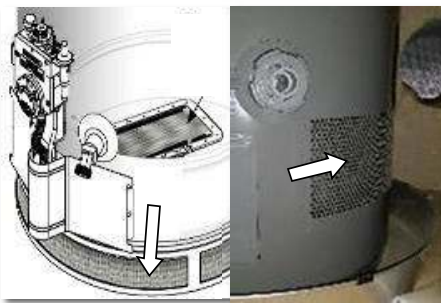
Water Heater Components



Item A (sediment buildup)



Item A (where to attach drain hose)



Item B (sample photos of air intakes)



Item C (TPR valve)



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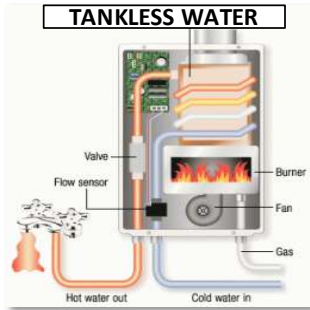
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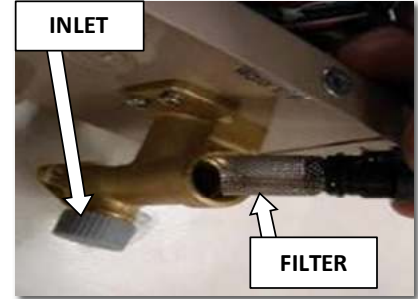
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Water Heater Components



Item F



Item I

I NI NP D **D. Hydro-Massage Therapy Equipment**

I NI NP D **E. Gas Distribution Systems and Gas Appliances**

1. Location of gas meter: west lawn by fence
2. Type of gas distribution piping material: Black steel Black CSST Yellow CSST Not visible
3. Gas type: Propane Natural Gas
4. Tank on site: Yes No
 - Percent full: 27%
 - Tank size: 500 gallons Year: 2000
 - Tank on pad: Yes No (repair recommended) Buried
 - Data plate legible: Yes No
 - Shutoff at regulator: Yes No
 - Tank coating: Acceptable Deficient Buried
5. Bonding/grounding at meter: OK Repair N/A (tank)
6. Sediment traps at furnace / water heater: OK Repair None
7. Comments:

NOTES, TIPS, AND INFORMATION

- a. NOTE - only visible portions of gas distribution piping material (Item #2 above) are reported. Inspector can not view piping under attic insulation, in walls, behind cabinets, etc. CSST gas piping may exist in these areas of the home, but was not observed if not noted above.
- b. NOTE - inspector can not inspect or determine the presence of proper bonding on gas piping that is in the wall, ceiling, or covered by insulation in the attic.
- c. NOTE - inspector can not perform leak tests on gas piping per local regulations. If a gas odor is noticed, inspector will certainly call it out but will not test each joint and line for leaks. A plumbing specialist can be contacted to perform a pressure test if desired.

RECOMMENDED REPAIRS

- d. Inspector detected odor of gas at upper west attic water heater gas valve connections. Leak detected at water heater joints using soap and water. Recommend repair by plumber.



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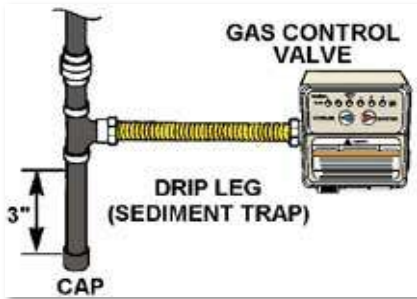
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Item D



Item D

I NI NP D **F. Other**

A. Other plumbing observations

1. Comments:
 - a. No deficiencies observed.

V. APPLIANCES

I NI NP D **A. Dishwashers**

1. Backflow prevention: Air gap Drain loop Repair
2. Secure in opening: OK Repair
3. Leaks observed: OK Repair
4. Electrical disconnect: Countertop switch Plug under sink Behind unit (not visible)
5. Manufacturer: Bosch
6. Comments:

NOTES, TIPS, AND INFORMATION

a. Ran dishwasher through quick rinse cycle. No leaks detected when bottom kick plate removed.

RECOMMENDED REPAIRS

- b. NEWER CODE - Water hammer arrestors are required under current standards on all dishwasher hookups (IRC P2903.5) and are recommended on older hookups.
- c. Dishwasher drain line must be raised to underside of the counter (not the underside of the sink) to prevent backflow of dirty sink water into a clean dishwasher.



Item B



Item C



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I NI NP D **D. Ranges, Cooktops, and Ovens**

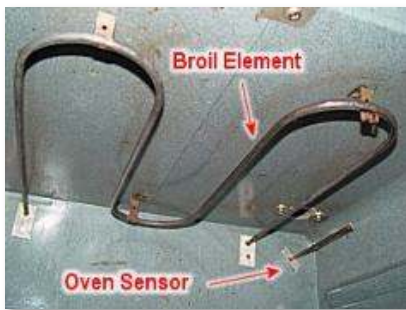
1. Knobs / elements intact: OK Repair
2. Heating elements / flame: OK Repair
3. Shut off valve present (if gas): OK Repair n/a Location: behind range
4. Anti-tip device on range: OK Repair n/a
- 5a. Oven #1 (upper): Setting: 350 deg Actual temp: 360 deg
6. Heat delivery:
 - Range: Elec Gas Not present
 - Cooktop: Elec Gas Not present Induction electric
 - Wall oven: Elec Gas Not present
 - Warm drawer: Elec Gas Not present
7. Range/cooktop hookups: 110V elec 220V elec gas
8. Manufacturer: GE
9. Comments:

NOTES, TIPS, AND INFORMATION

- a. NOTE - self cleaning functions, if equipped, are not tested.
- b. MAINTENANCE TIP - if flame on cooktop is erratic or irregular, try slightly adjusting and re-centering the burner cap; this will often solve the issue.
- c. MAINTENANCE TIP - keep oven temperature sensor clean and grease-free for accurate oven temps when cooking. (See photo below).
- d. Set oven temperature and tested against inspector's slow-adjust coil temperature gauge in the center of the oven. Temperature differential within 25 degree acceptable variance.

RECOMMENDED REPAIRS

- e. No deficiencies observed.



Item C

I NI NP D **E. Microwave Ovens**

1. Knobs / panel / door seal / light intact: OK Repair
2. Adequately heated water sample: OK Repair
3. Turntable operating: OK Repair Not present
4. Manufacturer: Sharp
5. Date of manufacture: 2023 Start temp: 77 deg @ 60 sec: 179 deg
6. Comments:

NOTES, TIPS, AND INFORMATION

- a. NOTE - only built-in microwave ovens are inspected as part of this report.
- b. Heated 1 cup of water to proper temperature increase (70-120 degrees) within one minute.

RECOMMENDED REPAIRS

- c. No deficiencies observed.



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I NI NP D **F. Mechanical Exhaust Vents & Bathroom Heaters**

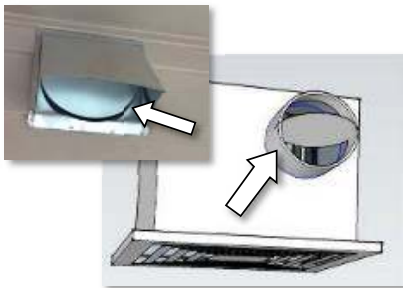
- Vented to exterior: OK Repair
- Comments:

NOTES, TIPS, AND INFORMATION

- MAINTENANCE TIP** - Some newer exhaust fans have a backdraft damper located in the duct just above the exhaust fan. This damper will occasionally make a banging noise during wind gusts. There is also sometimes a flapper where the vent exits the wall / roof of the home. These also make a banging noise in the wind and can be silenced with self-stick bumper pads.
- MAINTENANCE TIP** - Exhaust fans in bathrooms can become clogged with dust and covers should be occasionally removed and cleaned.
- BUYER TIP** - A common complaint among homeowners is the noise produced by exhaust fans. Replacing existing fan with a low-noise ("low sone") fan can be performed.

RECOMMENDED REPAIRS

- No deficiencies observed.



Item A

I NI NP D **G. Garage Door Operators**

- Pressure reverse functional: OK Repair Not tested (glass door)
- Infrared beam reverse functional: OK Repair
- Door locks removed / disabled: OK Repair
- Comments:

NOTES, TIPS, AND INFORMATION

- NOTE** - Inspector does not test garage door remote controls. Buyer should obtain remotes from seller at closing.
- MAINTENANCE TIP** - many homeowners complain of noise from garage door openers. Regularly lubricating the wheels, tracks, and chain can help keep the door running smoothly and quietly. Keeping the chain tightened to manufacturer's guidelines will help prevent noisy 'slapping' of the chain during operation and premature wear.

RECOMMENDED REPAIRS

- Garage door *pressure* reverse failed when tested per manufacturer specification using 1-1/2" block (*note - infrared sensor auto reverse functioned as intended*). Pressure reverse primary function is to protect persons, but also serves to prevent damage to vehicles if parked in the door opening (straddling the electric eye) while closing. This failure is extremely common due to sensitive adjustment parameters.
- Garage doors with motorized openers must have the door lock disabled to prevent damage to door and motor unit from accidental locking, as required by manufacturer (a bolt is typically installed through lock handle to disable).



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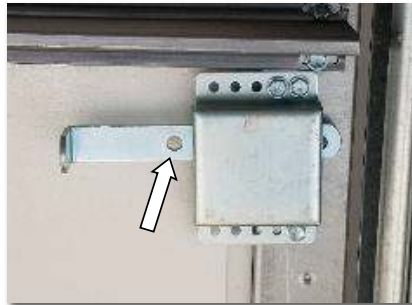
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- e. Wall button on 1st and 3rd garage door opener must be held down to get door to close. This typically indicates a misalignment of the infrared sensors or an improperly adjusted downforce. As the infrared sensors appear to be aligned, it is assumed the downforce setting must be increased or the seller's belongings disrupt the beam. Service and further review recommended.
- f. Light bulbs on all 3 garage door openers require replacement.



Item C (failed test)



Item D (sample photo of where to place bolt)

I NI NP D **H. Dryer Exhaust Systems**

1. Vent opening: OK Repair
2. Exiting via: Wall Roof Slab
3. Comments:

NOTES, TIPS, AND INFORMATION

- a. NOTE - When present, inspector does not move and detach dryers to inspect vents.
- b. NOTE - inspector can not view or inspect section of dryer duct vent between wall entry and wall / roof exit
- c. MAINTENANCE TIP - clogged dryer vents are a fire hazard and vents should be checked for obstructions yearly as a precaution.

RECOMMENDED REPAIRS

- d. Dryer exhaust exits foundation at grade level and is being obstructed by garden mulch. Mulch should be cleared away and access kept open.



View inside dryer vent (OK)



Item D

I. Other

I NI NP D **1. Whole house vacuum systems**

I NI NP D **2. Refrigerator**



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I NI NP D 3. Wine fridge / undercounter fridge

I NI NP D 4. Standalone icemaker

I NI NP D 5. Trash compactor

I NI NP D 6. Washer & Dryer hookups

- BUYER TAKE NOTE** →
1. Dryer: Gas only Electric only Both gas & elec Not visible (view obstructed)
 2. Dryer outlet: 3 pin 4 pin Standard 110V outlet
 3. Washer / dryer present: Yes No
 4. Washer / dryer operated:: Yes No
 5. Comments:

NOTES, TIPS, AND INFORMATION

- BUYER TAKE NOTE** →
- a. **BUYER TAKE NOTE** - Modern dryers are fitted with a 4-pin plug while older models are fitted with a 3-pin plug. Modern building requirements call for a 4-pin outlet in the laundry room. Be sure to check your dryer and investigate if it is necessary to update the home's receptacle and/or your appliance plug.
 - b. **BUYER TIP** - Deteriorated washer hoses are a leading cause of leaks in a home. Hoses should be replaced every few years or when signs of wear are present. Moving homes provides a perfect opportunity.
 - c. **NOTE** - washers and dryers, if present, are not tested as these are typically personal property that do not convey with the sale. Inspector does not turn on or operate washer dryer valves or fill washer drain to examine for backup. Inspector will search for evidence of past leaks or damage.
 - d. **NOTE** - 240 volt dryer electrical outlet is not tested for polarity or proper attachment of neutral / grounding wiring.

RECOMMENDED REPAIRS

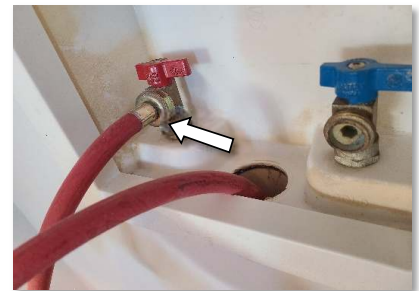
- e. Drain pans are recommended (but not required) under clothes washers in the event of leaks/spills. A drain line is not present in the wall for this purpose and would need to be added.
- f. Water hammer arrestors are required under current standards on all clothes washer hookups (IRC P2903.5) and are recommended on older hookups.
- g. Hot water connection at clothes washer is dripping. Valve should be replaced as the drip will only worsen over time and may not shut off during next washer disconnect. At a minimum, valves should be capped until a washing machine is hooked up to prevent possible water damage in wall.



Item E (example)



Item F (example)



Item G



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VI. OPTIONAL SYSTEMS

I NI NP D **A. Landscape Irrigation (Sprinkler) Systems**

1. All zones operated Yes No *(inspector does not examine coverage)*
2. Setting at time of inspection: On Off
3. Control box function OK Repair
4. Leaks / broken heads: OK Repair
5. Shut-off valve & rpz location: by meter Shut off between meter & RPZ: Yes No
6. Rain sensor location: Wi-Fi
7. Control panel location: garage
8. Comments on zone operation:

SETTINGS FOR PROGRAM: **A**
 WATERING DAYS: Mon Tue Wed Thur Fri Sat Sun OFF Time: Program

SETTINGS FOR PROGRAM: **B**
 WATERING DAYS: Mon Tue Wed Thur Fri Sat Sun OFF Time: OFF

PRINT AND TAPE TO PANEL

| ZONE | PROGRAM RUN TIME | | HEAD TYPE | AREA | COMMENT |
|------|------------------|---|-----------|--|--|
| | A | B | | | |
| 1 | PGM | 0 | rotor | front lawn by mailbox | ok |
| 2 | PGM | 0 | rotor | front lawn by basketball hoop and driveway walkway | ok |
| 3 | PGM | 0 | rotor | front lawn, east of front stone path | ok |
| 4 | PGM | 0 | rotor | front lawn, SW of front stone path | ok |
| 5 | PGM | 0 | rotor | front lawn, NW of front stone path | ok |
| 6 | PGM | 0 | rotor | front lawn, west of house | ok |
| 7 | PGM | 0 | rotor | front planting beds, west side | ok |
| 8 | PGM | 0 | rotor | front planting beds, east side | ok |
| 9 | PGM | 0 | rotor | rear lawn, west of house | head in front of a/c condensers is not spraying; clean or replace |
| 10 | PGM | 0 | rotor | rear lawn, west of pool | ok |
| 11 | PGM | 0 | rotor | rear lawn, by playhouse | ok |
| 12 | PGM | 0 | rotor | rear lawn, north of pool | head at NE corner of pool sprays onto patio; adjust |
| 13 | PGM | 0 | rotor | rear lawn, SE (by garage) | ok |
| 14 | PGM | 0 | rotor | rear lawn, NE | SW head is too low, inhibiting effective spray. Head should be raised. |
| 15 | PGM | 0 | rotor | rear lawn, far SE at gate | ok |
| 16 | PGM | 0 | rotor | pool and patio planting beds | ok |



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PRINT AND TAPE TO PANEL

| SUGGESTED WATERING TIMES | | | | |
|--------------------------|---|---|---|---|
| Head Type | <u>SPRING</u> March - May | <u>SUMMER</u> June - Aug | <u>FALL</u> Sept - Nov | <u>WINTER</u> Dec - Feb |
| Spray | <u>10-15 mins / zone</u> 1-2X per week | <u>10-15 mins / zone</u> 3X per week | <u>10-15 mins / zone</u> 1-2X per week | <u>10-15 mins / zone</u> 0-1X per week |
| Mini Rotor | <u>15-20 mins / zone</u> 1-2X per week | <u>15-20 mins / zone</u> 3X per week | <u>15-20 mins / zone</u> 1-2X per week | <u>15-20 mins / zone</u> 0-1X per week |
| Rotor | <u>20-25 mins / zone</u> 1-2X per week | <u>20-25 mins / zone</u> 3X per week | <u>20-25 mins / zone</u> 1-2X per week | <u>20-25 mins / zone</u> 0-1X per week |
| Drip Lines | <u>25-30 mins / zone</u> 1-2X per week | <u>25-30 mins / zone</u> 3X per week | <u>25-30 mins / zone</u> 1-2X per week | <u>25-30 mins / zone</u> 0-1X per week |

9. General comments:

NOTES, TIPS, AND INFORMATION

- a. MAINTENANCE TIP - grass tendrils tend to grow over sprinkler heads periodically, particularly with St Augustine grass. Sometimes these roots may hold sprinkler in lowered (closed position) when zone is
- b. MAINTENANCE TIP - sprinkler heads tend to get damaged by vehicles, lawn equipment, etc and will sometimes rotate during use, it is recommended that zones are visually inspected by homeowner every month to ensure proper function and spray direction.
- c. MAINTENANCE TIP - keep sprinkler heads aimed away from directly spraying walls and fences to avoid staining. Heads should be kept 6" away from walls and fences for this reason.
- d. MAINTENANCE TIP - it is recommended (and required in some jurisdictions, such as City of Austin) that no spray heads are placed in areas less than 6' wide to prevent water loss due to overspray. Bubblers or drip lines should be used in these areas.
- f. BUYER NOTE - operation manuals for your irrigation control panel can be downloaded online if needed.
- g. BUYER NOTE - inspector can not observe for small leaks or blockages in buried drip lines as these are not visible without invasive measures.

RECOMMENDED REPAIRS (other than noted in chart above)

- h. BUYER TAKE NOTICE - Irrigation control panel is manufactured by Rachio which uses your smart phone to control settings and operation. As such, buyer will need to download the Rachio app to control the system and access settings (run time, watering days, etc). Go to <https://rachio.com/> for operation manuals and info.
- i. LIMITATION - Irrigation RPZ (reduced pressure zone) / PRV (pressure reducing valve) BFP (backflow preventer) could not be located on property (not near water meter). This is not required by all jurisdictions, and water meter was equipped with its own backflow prevention device.



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 512.903.3093
 Austin, TX

Report Identification:

Property Location: 123 Main Street, Austin
 Prepared For: John and Jill Smith

Inspected By: Matthew Kenny
 TREC License: #09997

Insp Date: August 1, 2023
 Time: 9:00 AM

KEY: I = Inspected NI = Not Inspected NP = Not Present D = Deficient



Item C (sample photo of head spraying wall)

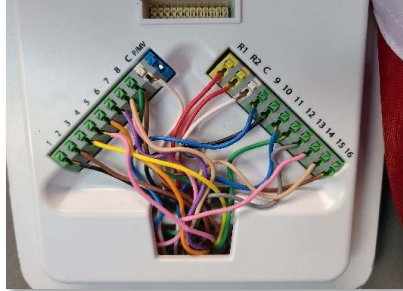


Photo of irrigation panel wiring (OK)



Item I (BFP by meter)



Zone 10



Zone 12



Zone 14

I NI NP D **B. Swimming Pools, Spas, Hot Tubs, and Equipment**

| POOL & SURROUNDINGS | | | | |
|---|----|-----------------------------|-----|----------------------------------|
| Construction: <u>Plaster on gunite</u> | | Plaster type: <u>pebble</u> | | Sanitation type: <u>chlorine</u> |
| ITEM | OK | DEFICIENT | N/A | NOTE |
| Gates self closing | X | | | |
| Gate height / size | X | | | |
| Gate latch height / type | X | | | |
| Tiles | X | | | |
| Coping | X | | | |
| Coping expansion joint | X | | | |
| Decks | X | | | |
| Pool / plaster surface | X | | | |
| Skimmers | X | | | |
| Skimmer lid vented | X | | | |
| Jets | X | | | |
| Dual main drains or anti-siphon lid | X | | | |
| Dual main drains 36" apart | X | | | |
| Pool lighting | X | | | |
| Door alarms | | X | | not present |
| Elevation changes marked | | X | | |
| Secondary exit or handhold if > 5' deep | X | | | (must be <20" below surface) |
| Pool chemistry (varies by day) | | | X | (not part of inspection) |



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| POOL WATER FEATURES | | | | |
|---------------------|----|-----------|-----|------------------------|
| ITEM | OK | DEFICIENT | N/A | NOTE |
| Waterfall weirs | X | | | |
| Stone waterfalls | | | X | |
| Fountains | | | X | |
| Slides | | | X | |
| Ladders | | | X | |
| Diving boards | | | X | (manuf label required) |

| EQUIPMENT: FILTER & PIPING | | | | |
|------------------------------|--|------------------------------------|--|--------------------------|
| Filter type: | <input checked="" type="checkbox"/> Sand | <input type="checkbox"/> Cartridge | <input checked="" type="checkbox"/> Diatomaceous earth | Manuf date: <u>n/a</u> |
| Filter size: | <u>120</u> gpm | <u>60</u> sf filter area | <u>17</u> running psi | Manuf: <u>Jacuzzi</u> |
| ITEM | OK | DEFICIENT | N/A | NOTE |
| Visible leaks | | X | | |
| Backwash hose | X | | | |
| Multi-port valve | X | | | |
| Air / pressure release valve | X | | | |
| Valves - manual | X | | | |
| Valves - electric | | | X | |
| Autofill function | | | X | |
| Overflow line | | | X | |
| Piping labeled | X | | | |
| Piping painted | | X | | |
| Underground leaks | | | X | (not part of inspection) |

| EQUIPMENT: PUMP MOTORS | | | | | | |
|------------------------|-------------|----------------|----|-----------|-----|--|
| ITEM | DATE | MANUF | OK | DEFICIENT | N/A | NOTE |
| Circulation | <u>2017</u> | <u>Pentair</u> | X | | | 1.5 hp <input checked="" type="checkbox"/> var speed |
| Cleaner / booster | <u>n/a</u> | <u>Polaris</u> | X | | | 0.75 hp <input type="checkbox"/> var speed |
| Water feature | | | | | X | - hp <input type="checkbox"/> var speed |
| Spa blower | | | | | X | |
| Signs of corrosion | | | | | X | |
| Visible leaks | | | | | X | |

| EQUIPMENT: CLEANING DEVICES | | | | |
|-------------------------------|---|---------------------------------------|---|-------------------------------|
| Cleaner type: | <input checked="" type="checkbox"/> Pressure vac w/ booster | <input type="checkbox"/> Pressure vac | <input type="checkbox"/> External crawler | <input type="checkbox"/> None |
| | <input checked="" type="checkbox"/> In-Floor (zones with | second average cycle time) | | |
| Manufacturer: | <u>Polaris</u> | | | |
| ITEM | OK | DEFICIENT | N/A | NOTE |
| ROBOTIC CLEANERS | | | | |
| Tail condition | X | | | |
| Tail scrubber present | X | | | |
| Supply hose condition | | X | | |
| Supply hose in-line filter | X | | | |
| Leaf bag | X | | | |
| Jet operation | | X | | |
| Damage / excessive wear | X | | | |
| Reversing valve | | X | | |
| IN-FLOOR SYSTEMS | | | | |
| Head pressure loss | | | X | |
| Leaks at head unit | | | X | |
| Non-functioning zones / heads | | | X | |



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| EQUIPMENT: HEATERS | | | | |
|--|----|-----------|-----|--------------------------|
| BTU's: _____ (note - gas meter will cap BTU's at 250K) | | | | Manufactured date: _____ |
| | | | | Manufacturer: _____ |
| ITEM | OK | DEFICIENT | N/A | NOTE |
| Located near window | | | | |
| Signs of corrosion | | | | |
| Visible leaks | | | | |
| Flex gas connector | | | | |

| EQUIPMENT: SANITATION | | | | |
|--------------------------------------|----|-----------|-----|-------------------------------------|
| | | | | Salt level (if applicable): - - ppm |
| ITEM | OK | DEFICIENT | N/A | NOTE |
| In-line chlorinator | X | | | |
| T-cell salt water chlorine generator | | | X | (can not be tested) |
| UV sanitizer | | | X | (can not be tested) |
| Ozonator | | | X | (can not be tested) |

| EQUIPMENT: CONTROL PANELS & ELECTRICAL PANELS | | | | |
|---|----|-----------|-----|---------------------|
| ITEM | OK | DEFICIENT | N/A | NOTE |
| Remote control | | | X | |
| Control panel in residence | | | X | |
| Control panel at equipment | | X | | |
| Control panel at spa edge | | | X | |
| Freeze protection present | X | | | (can not be tested) |
| Wiring at control panels | X | | | |

| SHOCK PROTECTION | | | | |
|----------------------------|----|-----------|-----|-----------------------------|
| ITEM | OK | DEFICIENT | N/A | NOTE |
| Bonding - motors | X | | | |
| Bonding - heater | | | X | |
| Bonding - control panel | X | | | |
| Bonding - pool rebar cage | | | X | (not visible) |
| Bonding - ladders | | | X | |
| Bonding - pool lights | X | | | bonded at control panel |
| GFCI - surrounding outlets | X | | | |
| GFCI - lighting | X | | | (protected via GFCI outlet) |
| GFCI - motors | | X | | |

1. Comments:

NOTES, TIPS, AND INFORMATION

- a. Disclaimer - Inspector can only verify bonding/grounding at the pump & filter equipment pad and does not test for continuity of bonding wiring. Bonding/grounding of the pool reinforcing steel, underground light fixture enclosures, and underground equipment can not be viewed, tested, or verified by normal inspection means and are outside the scope of this inspection.
- b. Disclaimer - Underground leaks can not be identified without extensive camera scoping, excavation, pressure testing, extended observation or water level monitoring, etc and are outside the scope of this inspection.
- c. Disclaimer - Inspector can not verify bonding at pool lighting.
- d. BUYER NOTE - Under new standards, bonding of pool reinforcement cage is no longer acceptable and pools must be equipped with a continuous dedicated ground wire encircling pool.
- e. BUYER NOTE - Replastering will be required every 15 years on average, depending on type of plaster and the consistency of chemical balance maintained in the pool.
- f. BUYER TIP - check chemical levels on a weekly basis for proper pool water balance. Test strips are difficult to read; bring a water sample to your local pool store for an expert computerized analysis and



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- g. BUYER TIP - Backwashing of filters is recommended when filter pressure reaches 10 psi above normal (clean) operating pressure.
- h. BUYER TIP - there are 3 major types of pool filters. They are: sand (traps larger particles), cartridge (traps medium particles), and D.E. (diatomaceous earth) (traps the finest of particles).
- i. BUYER TIP - all pool filters require regular maintenance:
 Sand filters - sand should be removed and replaced every 2 years.
 Cartridge filters - cartridge filters should be removed and washed with hose on monthly basis during summer months.
 D.E. filters - D.E. is removed when filter is backwashed. New D.E. must be added after every backwash. Follow label instructions.
- j. BUYER TIP - if pool is equipped with an inline chlorinator, check chlorine puck level weekly and add as necessary. Pool will use double or triple the amount of chlorine in the summer as it does in winter.
- k. BUYER TIP - buyer and realtor should ensure seller maintains pool through closing date, as often times pools can be forgotten during this transition. A pool chemical rebalancing can easily cost several hundred dollars.
- l. BUYER TIP - nylon belts and gears inside robotic cleaner tend to wear over time and should be replaced if wheels have trouble turning. Many local pool stores will perform labor for free if you purchase parts from them.
- m. BUYER TIP - during the summer months, it is not unusual for a pool to lose 1-3" of water per week due to evaporation.
- n. BUYER TIP - In salt water pools, the turbulent flow chamber (T-cell or Turbo-cell) should be inspected and cleaned every 3-6 months.
- o. LIMITATION - robotic cleaners, pumps, filters, and heaters are not disassembled. Inspection is visual
- p. LIMITATION - salt water generators, UV lights, and ozonators can not be tested for function using normal inspection methods.
- q. LIMITATION - underground leaks at piping or joints can not be determined by this inspection. If this is a concern, an ultrasound or camera scoping can be performed by a licensed contractor.
- r. LIMITATION - inspector does not perform calculations or review circulation rate, skimmer & return placement, or equipment sizing.

RECOMMENDED REPAIRS / COMMENTS - POOL SURFACE, JETS, DRAINS, SKIMMERS

- a. NOTE - Modern pool safety standards require at least two drains in each body of water per the Virginia Baker Act to prevent accidental drowning. If this is not feasible, an anti-suction or raised drain cover is recommended. Pool and spa are equipped with dual drains and raised drain covers.
- b. Steps and other abrupt changes in elevation inside the pool are required to be marked with tile, paint or other identifying marker.
- c. NOTE - No significant cracking to plaster was observed that would be considered detrimental to pool function.

RECOMMENDED REPAIRS / COMMENTS - SURROUNDING COPING, DECKING, AND FENCING

- d. Crack to exterior bond beam of pool at NE corner of shallow end (by planter). Crack does not exceed 1/8" in width and does not appear to be leaking or causing adverse effects to the pool or decking. Noted for record.
- e. Railing on east side of stairway leading from rear patio to pool patio is not secured to wall (loose bolt).. Recommend repairing.
- f. Gate latch leading from patio stairs to pool only functions sporadically (must lift up on gate and then jiggle and lift handle simultaneously several times to operate). Recommend replacing.



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RECOMMENDED REPAIRS / COMMENTS - CLEANING DEVICES

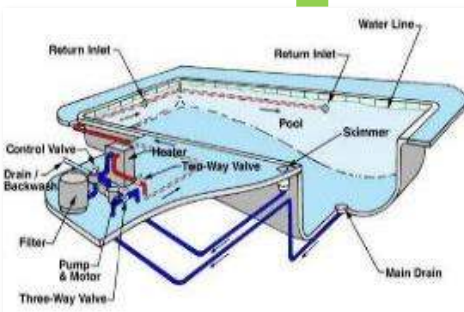
- f. Robotic cleaner is functioning with minor leaks to hose joints (typical). Leaf bag and water suction jets were found in proper operating condition. Reversing valve was observed to operate cyclically and in-line water filter was noted at end of hose. Cleaner is not disassembled to examine internal components.
- g. Robotic cleaner has low pressure to internal jets that drive wheels and suction as well as low pressure to reversing valve. Inspection revealed that the attachment of the supply hose to the pool wall was loose and allowing significant pressure to escape, which affects overall function of cleaner. Recommend repair.
- h. Normal wear and tear to robotic cleaner tires. These require periodic replacement every few years along with interior gears and belts.

RECOMMENDED REPAIRS / COMMENTS - EQUIPMENT

- i. Exposed pool plumbing pipes in yard (in front of equipment wall) should be covered to protect from physical damage.
- j. Exposed pool plumbing pipes are recommended to be painted to protect against UV degradation.
- k. Pool filter was leaking steadily from top pressure valve. Recommend repair.
- l. Pool motors were found to be in good working order. However, it should be noted that due to the outdoor environment, harsh running conditions, and corrosive chemicals, pool motor life expectancy is typically between 5-7 years.
- m. NOTE - All pool pumps manufactured after July 2021 (larger than 1.0 THP) must meet new energy efficiency requirements set by Dept of Energy, which typically is limited to variable speed pump motors.
- n. BUYER TIP - pool equipment was operated via panel located at pool equipment. The start and stop times for equipment can be adjusted here.
- o. BUYER TIP - switch for pool lighting is located on SW pole of pool cabana.
- p. MAINTENANCE TIP - Upon closing on home, it is recommended that filters are cleaned and media changed, unless recent service records are available. See above "Notes" for cleaning comments.

RECOMMENDED REPAIRS / COMMENTS - ELECTRICAL & PANELS

- q. Breaker serving pool motors is required to be GFCI protected per 2014 NEC 680.21, even if the pool panel itself provides GFCI protection for underwater lighting.
- r. Timer for pool circulation pump is missing start/stop switches, allowing pump to run 24 hours a day. This is not necessary and will result in high electrical bills. Recommend installing start/stop switches and setting timer to above recommendations.
- s. Pool water was observed exiting top of pool lighting conduit inside pool equipment control panel. This will result in corrosion of panel and is a shock hazard. Control panel should be raised above level of pool edge to prevent this from occurring.
- t. Although not often installed, audible alarms are required by current standards on all exterior doors and windows leading to pool area.



Pool Components

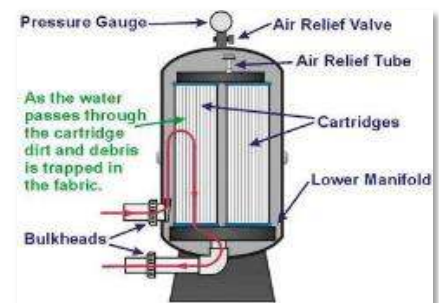


Diagram of D.E. filter



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Photo of water sanitization device (OK)



Photo of control panel interior



Photo of robot reversing valve operating



Photo of robotic cleaner jets



Item A (raised anti-suction cover)



Item B (sample photo of elevation markers)



Item D



Item E



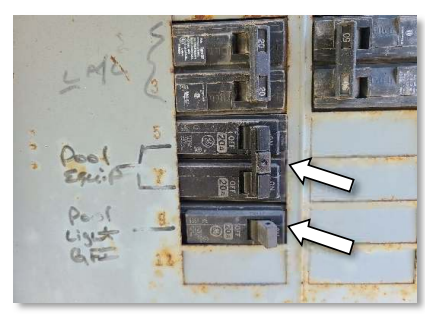
Item G



Item I



Item K



Item Q



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Item R



Item S



Item T

I NI NP D **C. Outbuildings**

I NI NP D **D. Private Water Wells (A coliform analysis is recommended)**

I NI NP D **E. Private Sewage Disposal Systems**

I NI NP D **F1. Other Built-in Appliances - Water Softener and/or Filter**

1. Comments:

- a. BUYER NOTE - Plumbing loop has been installed in garage for potential future water softening system.
- b. BUYER NOTE - Inspector observed what appears to be a pressure tank for a water conditioning device installed in garage. Inspector is not licensed to evaluate these systems but no physical leaks were observed. Buyer may wish to familiarize themselves with product (Park International Corp Model #RT-1236-45) (https://gc2000.pl/wp-content/uploads/docs/PARK_Pressure_Tanks.pdf). It is unknown if this is simply the pressure tank for a larger (removed) system or serves as an ionization device for softening.



Item B

THE PARK TANK
 Residential, Portable Exchange and Light Commercial
 6" through 22" diameter - 1B through 11.2 cu. ft. capacity
 for Softening, Filtration, De-ionization

Standard One-Piece Tank (1B)
 • Non-toxic, non-leaching, glass-reinforced plastic
 • Smooth, finished inner surface with white ceramic membrane
 • Leak resistant
 • Complies with NSF water filter standards
 • NSF 42, NSF 41, NSF 55, NSF 58
 • Not affected by high quality mineral salt and brine

Pressure Injection Method (1B)
 For all standard models (1B and 1B-1)

Drain Hole Option
 • Available in 1/2" or 3/4" diameter sizes
 • Injection valves (1B) may be used in 1/2" or 3/4" diameter sizes
 • Drain hole (1B) may be used in 1/2" or 3/4" diameter sizes
 • Drain hole (1B) may be used in 1/2" or 3/4" diameter sizes

Drain Hole Location
 • Standard location
 • High strength
 • 1/2" or 3/4" diameter
 • 1/2" or 3/4" diameter
 • 1/2" or 3/4" diameter
 • 1/2" or 3/4" diameter

Standard Bases
 For 1/2" through 1/2" diameter
 Plastic - Injection Method
 For 1/2" or 3/4" diameter
 Rubber - Compression Method
 For 1/2" or 3/4" diameter
 Rubber-Compression Method
 For 1/2" or 3/4" diameter

Optional Bases
 For 1/2" or 3/4" diameter
 Rubber-Compression Method
 For 1/2" or 3/4" diameter
 For 1/2" or 3/4" diameter

I NI NP D **F2. Other Built-in Appliances - BBQ / Outdoor Kitchen**



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I NI NP D **F3. Other Built-in Appliances - Security Systems**

- Alarm service panel location: in-law suite closet
- Comments:

NOTES, TIPS, AND INFORMATION

 - NOTE - Security alarm system inspection is not part of this report. The following observations were made during a cursory review of the home and is not intended to be a thorough reporting.

RECOMMENDED REPAIRS

 - Alarm control panel displayed several error messages and requires service.
 - Wiring for primary shower window alarm was protruding through wall of shower and should be capped back into wall.



Item B



Item C

I NI NP D **F4. Other Built-in Appliances - Low Voltage & Media**

- Pull panel (ON-Q panel) location: in-law suite closet
- Fiber optic internet observed: Yes No Unknown
- Comments:

NOTES, TIPS, AND INFORMATION

 - NOTE - Inspector does not inspect low voltage systems as this requires equipment hookups and therefore is outside the scope of inspection. This includes cable, phone, internet, and audio / speaker systems. Sophisticated media and integrated low voltage systems may require additional inspection by a specialist if buyer desires.
 - NOTE - Inspector does not check each room for the presence (or lack thereof) of cable or internet connections. These are not required by code and vary wildly from house to house.
 - BUYER NOTE - TV and data lines are currently stubbed out at the home exterior and are not connected to any utility provider. Buyer will have responsibility of calling providers and arranging installation of service from the street up to the house. Additional fees may apply.

RECOMMENDED REPAIRS

 - No deficiencies observed.

I NI NP D **G1. Other - Fire Protection Equipment**

I NI NP D **G2. Other - Landscaping / Fences**



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I NI NP D **G3. Other - Pest Activity**

1. Comments:

NOTES, TIPS, AND INFORMATION

- a. MAINTENANCE TIP - Sealing of exterior rodent entry points along roof (typically where lower roof slopes meet upper roof soffits) is recommended to prevent rodent entry into attic and is required per IRC G2404.9 code.
- b. MAINTENANCE TIP - Installing mesh (or installing a manufactured vent cover) over rooftop plumbing vents will help keep rodents and foreign objects from entering sewer and vent piping. This is rare.
- c. MAINTENANCE TIP - If not already performed, recommend sealing plumbing line penetrations under sinks (including kitchen oven gas line) to prevent pest entry from in walls or below ground.
- d. MAINTENANCE TIP - shrubs and trees should be kept trimmed back at least 12" from the structure to prevent the transfer of nuisance and carpenter ants. Mulch should be kept at least 6" from siding to discourage termite movement.
- e. MAINTENANCE TIP - Sealing the gap between the garage door jamb and the door at the concrete slab will help keep pests out of garage. A non-steel scouring pad (or other mtl) stuffed in the gap works well.
- f. MAINTENANCE TIP - If not already performed, installing mesh at masonry weep holes will help keep pests and wasps from entering wall cavity while still allowing water to drain
- g. MAINTENANCE TIP - wooden expansion joints placed against the foundation in driveways, patios, and walkways attract wood destroying insects. When possible, these should be removed and replaced with caulking or fibrous joint fillers.

RECOMMENDED REPAIRS

- h. See attached Wood Destroying Insect (termite) report performed by third party. Results:
 - 1) ACTIVITY - none observed at time of inspection.
 - 2) EVIDENCE OF PRIOR TREATMENT - per seller, area of master bath was previously treated although no treatment sticker or other information was available. Suggest having seller provide for further review.
 - 3) CONDUCTIVE CONDITIONS - none.
 A quotation for a pest control program is attached.



Item A (sample of rodent entry point)



Item A (sample of rodent prevention metal)



Item B (sample photos)



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Item C (sample photo)



Item E (sample photo)



Item F (weep hole with & without mesh)

I NI NP D **G4. Other - Boat Docks**

I NI NP D **G5. Other - Lead Paint / Asbestos**

1. House constructed prior to 1978 Yes No
2. Lead paint testing performed: Yes No
3. Asbestos testing performed: Yes No
4. Comments:

a. No items to report; home was constructed after 1978/1980 when the majority of these products were no longer in use. Some homes contained asbestos in the popcorn ceiling until the early to mid 1980's.

I NI NP D **G6. Other - Thermal Imaging**

I NI NP D **G7. Other - Cosmetics**

1. Comments:

COSMETICS:

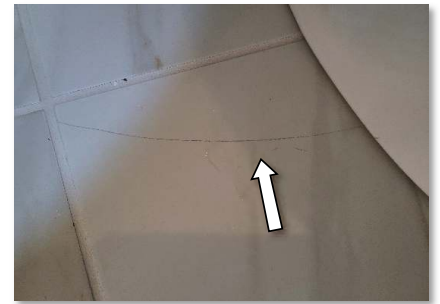
- a. NOTE - TREC does not require inspectors to comment on aesthetics. Any comments included below are purely for the client's information and is not a comprehensive listing.
- b. Stress cracking of drywall noted at garage (possibly from stepping off platform). Noted for record.
- c. Discoloration to upper east bath countertop, to right of sink.
- d. Scratch observed to tile to left of primary toilet.
- e. Ceiling is not painted around kitchen vent hood.



Item B



Item C



Item D



| COLOR CODING LEGEND | |
|---|--|
| | = Recommended; high priority |
| | = Recommended |
| | = Recommended; low priority (or a call to attention) |
| | = Informational (or recommended but not feasible) |

ARMADILLO INSPECTION
 Matthew@ArmadilloInspection.com
 www.ArmadilloInspection.com
 512.903.3093
 Austin, TX

| | | | |
|-------------------------------|-------------------------|----------------------|----------------|
| Report Identification: | | | |
| Property Location: | 123 Main Street, Austin | Inspected By: | Matthew Kenny |
| Prepared For: | John and Jill Smith | TREC License: | #09997 |
| | | Insp Date: | August 1, 2023 |
| | | Time: | 9:00 AM |

KEY: I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D **G8. Other - General Comments**

1. Comments:
 - a. Prior to leaving the site, inspector shut off all lights and locked all windows and doors. Returned the thermostat to its previous setting.
 - b. Inspector removed shoes while inside home.
 - c. As home is currently furnished, some belongings may have obstructed a complete and full view of all wall and floor areas.
 - d. NOTE ON PRIOR REPAIR / REMODEL WORK - Inspector does not perform a history search to determine if permits were pulled for repair, remodeling, or other construction work performed on the home. Buyer and buyer's agent are encouraged to conduct a search history on city websites to see if any permits were pulled in the past, and whether those permits were properly closed out.
 - e. NOTE ON PRIOR INSURANCE CLAIMS - Inspector is unable to determine if the residence was subject to any previous claims or repairs (windstorm, flooding, fire, etc). A Comprehensive Loss Underwriting Exchange Report (C.L.U.E. report) may offer additional information on reported losses. This report can be requested by either the homeowner or insurance company if desired.

***PART 4: MAINTENANCE SCHEDULE
AND LIFE EXPECTANCIES***





| | | | | | |
|-------------------------------|-------------------------|----------------------|---------------|-------------------|----------------|
| Report Identification: | | Inspected By: | Matthew Kenny | Insp Date: | August 1, 2023 |
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PART 4 - HOME MAINTENANCE SCHEDULE

| | JANUARY | FEBRUARY | MARCH | APRIL | MAY | JUNE | JULY | AUGUST | SEPTEMBER | OCTOBER | NOVEMBER | DECEMBER |
|--|---------|----------|-------|-------|-----|------|------|--------|-----------|---------|----------|----------|
| REGULAR MAINTENANCE | | | | | | | | | | | | |
| Change air filters (4" media at unit) | X | | | | | | X | | | | | |
| Change air filters (1" filter at wall / clg) | X | | | X | | | X | | | X | | |
| Add vinegar to HVAC condensate drains | | | | X | | | | | X | | | |
| Fill salt in water softeners | X | X | X | X | X | X | X | X | X | X | X | X |
| Water filters - whole house filter | X | | | | | | X | | | | | |
| Water filters - refrigerator | X | | | X | | | X | | | X | | |
| Clean dryer vent | X | | | | | | | | | | | |
| Flush tanked water heater | X | | | | | | | | | | | |
| Clean filter on tankless water heater | X | | | | | | | | | | | |
| HIDDEN AREAS TO CLEAN | | | | | | | | | | | | |
| Vacuum dust from refrigerator coils | X | | | | | | | | | | | |
| Wipe dust from ceiling fan blades | X | | | | | | | | | | | |
| Vacuum dust from bath exhaust fans | X | | | | | | | | | | | |
| Clean gutters | | | | X | | | | | | | | X |
| WINTERIZING | | | | | | | | | | | | |
| Install hose bib freeze protectors | | | | | | | | | | | | X |
| Check insulation on outside pipes | | | | | | | | | | | | X |
| Insulate exterior tankless water heaters | | | | | | | | | | | | X |
| Insulate any raised irrigation heads / pipes | | | | | | | | | | | | X |
| ON BELOW-FREEZING NIGHTS: | | | | | | | | | | | | |
| Cover freeze-susceptible plants | X | X | X | | | | | | | | | X |
| Double-check hose bib insulators | X | X | X | | | | | | | | | X |
| Run interior faucets on slow drip & open cabinet | X | X | X | | | | | | | | | X |
| Run pool pump through night | X | X | X | | | | | | | | | X |
| PERIODIC INSPECTIONS | | | | | | | | | | | | |
| Check water heater for corrosion | X | | | | | | | | | | | |
| Check a/c unit for corrosion | X | | | | | | | | | | | |
| Check attic for leaks / stains at piping & vents | X | | | | | | | | | | | |
| Check attic for signs of rodents | X | | | | | | | | | | | |
| Check roof for missing shingles | X | | | | | | | | | | | |
| Adjust thermostat settings - being efficient? | | | | X | | | | | X | | | |
| Adjust water heater temp settings - being efficient? | | | | X | | | | | X | | | |
| Gently rinse dust from a/c condenser fins | | | | X | | | | | X | | | |
| Adjust irrigation settings for season | | | X | | | X | | | X | | | |
| Test smoke and CO alarms | X | | | | | | | | | | | |
| Test TPR valve on water heater | X | | | | | | | | | | | |
| Check caulking around tub spouts | X | | | | | | | | | | | |
| Check grout in showers / baths | X | | | | | | | | | | | |
| Check foundation for new cracks | X | | | | | | | | | | | |
| Check chimney flue for creosote buildup | X | | | | | | | | | | | |
| Have HVAC professionally serviced | | | | | X | | | | | | | |
| FIVE TO 10 YEAR MAINTENANCE | | | | | | | | | | | | |
| Check / recaulk roof penetrations | | | | | | | | | | | | |
| Check / recaulk exterior window frames | | | | | | | | | | | | |
| Check / recaulk exterior wall penetrations | | | | | | | | | | | | |
| Have ducts cleaned | | | | | | | | | | | | |
| Dip calcified showerheads in vinegar overnight | | | | | | | | | | | | |
| Replace smoke alarms every 10 years | | | | | | | | | | | | |



| | | | |
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PART 4 - TYPICAL LIFE EXPECTANCIES

(Adjusted for Central Texas area)

MECHANICAL

| | |
|----------------------------|---------------|
| HVAC unit | 15-20 years |
| Water heater | 10-15 years |
| Electrical panels | 60 years |
| Light bulbs – incandescent | 1-2,000 hrs |
| Light bulbs – CFL | 8-10,000 hrs |
| Light bulbs – LED | 30-50,000 hrs |

APPLIANCES

| | |
|--------------|-------------|
| Refrigerator | 10 years |
| Range oven | 15 years |
| Washer/dryer | 10-15 years |
| Dishwasher | 10 years |

ROOFING

| | |
|-----------------------|-------------|
| Composite shingles | 15-20 years |
| Clay or concrete tile | 40-60 years |
| Metal roof | 40-80 years |

EXTERIOR WALL CLADDING

| | |
|---------------------------|--------------|
| Vinyl siding | 30-50 years |
| Wood or fiberboard siding | 40-60 years |
| Stucco | 50-60 years |
| Cement (hardie) siding | 75-100 years |
| Masonry | 75-100 years |

WINDOWS

| | |
|---------------------|-------------|
| Aluminum | 20-30 years |
| Vinyl or fiberglass | 30-40 years |
| Wood | 20-30 years |
| Wood clad | 30-40 years |

PART 5: CONTRACT

A copy of this contract has also been emailed to you for signature.

If Client(s) rely on Inspector's report and its findings, Client(s) thereby agree to the terms herein whether or not this agreement is signed and executed.





Property Location: 123 Main Street, Austin
Prepared For: John and Jill Smith

Inspected By: Matthew Kenny
TREC License: #09997

Insp Date: August 1, 2023
Time: 9:00 AM

INSPECTION CONTRACT AGREEMENT

I, John and Jill Smith (Client), do hereby authorize a representative of Armadillo Inspection (Inspector) to perform an inspection at the above stated address in accordance with the below terms and conditions.

SCOPE OF INSPECTION

- A. Inspector shall perform a complete inspection of all systems and components that make up the home generally including:
- Electrical system including panels, subpanels, switches, outlets, and observable wiring
 - HVAC system (interior and exterior components) and observable ductwork
 - Plumbing system including fixtures, faucets, tubs, showers, water heaters, and observable piping
 - Structure including observable framing, trim, foundation, attic structure, insulation, stairs, windows, doors, siding, roofing
 - All built-in appliances including kitchen appliances, fireplaces, exhaust fans, garage doors
- B. The Client, by accepting this Property Inspection Report or relying upon it in any way, expressly agrees to the terms contained herein.
- C. Client is aware that the inspection is limited to accessible and visual areas and that its purpose is to help Client better understand the physical aspects of the property at the time of the inspection. Remember this is a limited visual inspection, not technically exhaustive in nature, and does not warrant or guarantee all defects to be found. Client understands that with a limited time frame it is impossible to find every defect in any given home. The Inspector agrees to use his best efforts and abilities, consistent with the Texas Real Estate Commission's Standards of Practice, to provide Client with his expertise regarding the condition of the premises.
- D. The inspection and report is not intended to be considered as any guarantee or warranty of merchantability or fitness of use regarding conditions of the property or items and systems inspected and it should not be relied on as such. This report is not intended to be used for determining insurability of the structure. This report is not to be used by or for any home warranty company, residential service contract, or for insurance underwriting purposes.
- E. The digital photos included in this report are a sample of the findings and should not be considered to show all of the damages and/or deficiencies found. There will be some damage and/or deficiencies not represented with digital imaging.
- F. Inspector agrees to electronically deliver report within two (2) days of the inspection or receipt of payment, whichever comes later.

OUTSIDE THE SCOPE OF INSPECTION

- A. HAZARDOUS SUBSTANCES
1. No testing will be done to establish or rule out the presence of molds, allergens, respiratory irritants, skin/eye irritants, sick-building syndrome or other indoor air-quality issues. Persons who are suffering from allergy-related ailments are encouraged to perform additional environmental testing as needed.
 2. Unless otherwise agreed in writing, no testing will be done to establish or rule out the presence of radon gas, asbestos or asbestos containing materials (ACMs), unsafe concentrations of lead or lead-based paint, mercury, urea formaldehyde, fungus, mold(s), PCBs, environmental contamination from leaking storage tanks (above or below ground) or other agents affecting human health.
 3. Inspector does not determine the presence of or test for asbestos or lead. Houses built before 1978 should be tested for lead paint and houses built before 1980 MAY contain asbestos in such materials as insulation, pipe insulation, vct floor tile, acoustic ceiling tile, etc. Inspector will recommend additional testing by licensed professional.
- B. SAFETY HAZARDS TO INSPECTOR OR HOME
- Inspector may choose to inspect the following items, but is not required by the Texas Real Estate Commission to:
1. inspect any component which is inaccessible, unsafe, will cause damage, or the inspector's client has agreed is not to be
 2. enter a crawl space or any areas where headroom is less than 18 inches or where the inspector reasonably determines conditions or materials are hazardous to health or safety of the inspector
 3. inspect the roof from the roof level if the inspector reasonably determines that the inspector cannot safely reach or stay on the roof, or that damage to the roof or roof covering may result from walking on the roof
 4. operate a unit outside its normal operating range as reasonably determined by the inspector
 5. operate any main, branch or shut-off valves
 6. inspect any system that has been shut down or otherwise secured
 7. perform flood testing of shower pans and tubs or test overflow devices due to potential damage and inherent liability
- C. CONCEALED CONDITIONS
1. Inspector will conduct a visual inspection of the home only. Any system or component which is blocked from access or otherwise obscured from view can not be evaluated. The Inspector can not move furniture, debris, clutter or other items in order to discover and report defects which are hidden from view and/or which would not be expected to be discoverable upon an ordinary visual inspection.



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2. Inspector is unable to inspect the condition of any underground installations. This includes, but is not limited to: electric or communications cables, water supply piping, gas or fuel piping, sewage discharge lines, portions of wells and septic systems, catch basins, storage tanks and/or lawn sprinkler systems.
3. Can not inspect items buried or normally covered by construction, walls, floors, and ceilings, or insulation; hidden or inaccessible
4. Can not determine the presence of, or extent or type of, insulation or vapor barriers in exterior walls.
5. Can not inspect any exterior plumbing components such as water mains or sewer systems.
6. Can not inspect for leaks in or below slab or below ground
7. Inspector is not permitted to pressure test, per Texas law.
8. Inspector is not permitted to test the gas supply system for leaks, per Texas law.

D. PESTS / TERMITES

1. This firm does not provide testing or inspections to establish or rule out the presence of wood destroying organisms or other household pests and/or rodents. **Upon request of buyer, Armadillo Inspection will arrange for a 3rd party to inspect the home as a courtesy, but all findings and resulting liability shall be maintained between buyer and 3rd party. Armadillo Inspection does not warrant conditions or findings of 3rd party contractors.**

By agreeing to use this service, you are agreeing to the contract terms of the 3rd party inspector, which are hereby incorporated into this contract and read as follows:

A. This inspection covers only the multi-family structure, primary dwelling or place of business. Sheds, detached garages, lean-tos, fences, guest houses or any other structure will not be included in this inspection report unless specifically noted in Section 5 of this report.

B. This inspection is limited to those parts of the structure(s) that are visible and accessible at the time of the inspection. Examples of inaccessible areas include but are not limited to (1) areas concealed by wall coverings, furniture, equipment and stored articles and (2) any portion of the structure in which inspection would necessitate removing or defacing any part of the structure(s) (including the surface appearance of the structure). Inspection does not cover any condition or damage which was not visible in or on the structure(s) at time of inspection but which may be revealed in the course of repair or replacement work.

C. Due to the characteristics and behavior of various wood destroying insects, it may not always be possible to determine the presence of infestation without defacing or removing parts of the structure being inspected. Previous damage to trim, wall surface, etc., is frequently repaired prior to the inspection with putty, spackling, tape or other decorative devices. Damage that has been concealed or repaired may not be visible except by defacing the surface appearance. The WDI inspecting company cannot guarantee or determine that work performed by a previous pest control company, as indicated by visual evidence of previous treatment; has rendered the pest(s) inactive.

D. If visible evidence of active or previous infestation of listed wood destroying insects is reported, it should be assumed that some degree of damage is present.

E. If visible evidence is reported; it does not imply that damage should be repaired or replaced. Inspectors of the inspection company usually are not engineers or builders qualified to give an opinion regarding the degree of structural damage. Evaluation of damage and any corrective action should be performed by a qualified expert.

F. NOT A STRUCTURAL DAMAGE REPORT OR A WARRANTY FOR ABSENCE OF WOOD DESTROYING INSECTS.

G. If termite treatment (including pesticides, baits or other methods) has been recommended, the treating company must provide a diagram of the structure(s) inspected and proposed for treatment, label of pesticides to be used and complete details of warranty (if any). At a minimum, the warranty must specify which areas of the structure(s) are covered by warranty, renewal options and approval by a certified applicator in the termite category. Information regarding treatment and any warranties should be provided by the party contracting for such services to any prospective buyers of the property. The inspecting company has no duty to provide such information to any person other than the contracting party.

H. There are a variety of termite control options offered by pest control companies. These options will vary in cost, efficacy, areas treated, warranties, treatment techniques and renewal options.

I. There are some specific guidelines as to when it is appropriate for corrective treatment to be recommended. Corrective treatment may only be recommended if (1) there is visible evidence of an active infestation in or on the structure, (2) there is visible evidence of a previous infestation with no evidence of a prior treatment.

J. If treatment is recommended based solely on the presence of conducive conditions, a preventive treatment or correction of conducive conditions may be recommended. The buyer and seller should be aware that there may be a variety of different strategies to correct the conducive condition(s). These corrective measures can vary greatly in cost and effectiveness and may or may not require the services of a licensed pest control operator. There may be instances where the inspector will recommend correction of the conducive conditions by either mechanical alteration or cultural changes. Mechanical alteration may be in some instances the most economical method to correct conducive conditions. If this inspection report recommends any type of treatment and you have any questions about this, you may contact the inspector involved, another licensed pest operator for a second opinion, and/or the Structural Pest Control Service of the TX Department of Agriculture.

E. CODE COMPLIANCE / WARRANTABILITY / ENGINEERING CALCULATIONS / SPECIALIZED TESTING

Inspector may choose to inspect the following items, but is not required by the Texas Real Estate Commission to:

1. determine environmental conditions, compliance with codes, ordinances, statutes or restrictions
2. determine the efficiency, quality, or durability of any item inspected
3. determine insurability or warrantability of any part, component or system
4. anticipate or report on future conditions of systems or materials
5. determine the remaining life expectancy of systems or materials
6. detect past, present, or future roof leaks unless observable at time of inspection
7. determine service capacity, amperage, voltage, or the capacity of the electrical system relative to present or future use
8. determine the accuracy of breaker labeling



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9. conduct voltage drop calculations
10. inspect for the pressure of the system coolant or determine the presence of leaks
11. determine the uniformity of the supply of conditioned air to the various parts of the structure
12. inspect fire sprinkler systems
13. inspect or operate drain pumps or waste ejector pumps
14. determine the potability of any water supply

F. COSMETIC ITEMS

Inspector may choose to inspect the following items, but is not required by the Texas Real Estate Commission to:

1. inspect or report on obvious cosmetic damage or wear and tear
2. report obvious damage to or determine condition of floor, wall or ceiling coverings
3. determine the condition of paints stains or other surface coatings

G. EXTERNAL ITEMS

Inspector may choose to inspect the following items, but is not required by the Texas Real Estate Commission to:

1. solar panel installations (inspector not qualified - specialist required)
2. exterior fencing, landscaping, or irrigation systems (unless specifically contracted to do so)
3. storage sheds, barns, or other outbuildings (unless specifically contracted to do so)
4. boat docks (unless specifically contracted to do so)
5. septic systems, underground sewage systems, grinder pumps & lift stations, rainwater storage systems, well water systems

H. LOW VOLTAGE WIRING

Inspector may choose to inspect the following items, but is not required by the Texas Real Estate Commission to:

1. phone, cable, internet, intercom, alarm, speaker, and computer systems
2. solar devices, alarm systems, antennas
3. landscape lighting

CODE OF PROFESSIONAL CONDUCT & ETHICS

- A. The responsibility of those persons who engage in the business of performing independent inspections of real estate transactions imposes integrity beyond that of a person involved in ordinary commerce. Armadillo Inspection maintains a high standard of professionalism, independence, objectivity, and fairness while performing inspections in a real estate transaction. Armadillo Inspection strives to uphold and improve the integrity, reputation, and practice of the home inspection profession.
 Armadillo Inspection will not share or discuss this report with any parties other than the client and client's realtor/agent. By signing below, client agrees to allow Armadillo Inspection to discuss with client's realtor/agent.
- B. Client(s) acknowledge that Professional Real Estate inspectors are exempt from the Texas Deceptive Trade Practices Act ("DTPA").

ARBITRATION

- A. I agree that any and all claims and/or disputes between the parties that cannot be amicably settled shall be determined solely and exclusively by arbitration in accordance with the rules of American Arbitration Association, except for the rules pertaining to arbitrator selection. The parties submitting the dispute shall appoint an arbitrator by mutual agreement who is knowledgeable in and familiar with the professional building inspection industry, and who will follow substantive rules of law. In the event of a monetary settlement, Client(s) agree to pay any associated fines, fees, and/or court costs directly to Inspector and shall not pay Prevailing Party.

LIMITATIONS OF LIABILITY

- A. **The Client(s) acknowledge that the home inspection is being conducted at the Client's request and the Client(s) agree to defend, indemnify and hold the Inspector harmless against any and all claims of third parties resulting, directly or indirectly, from the services provided.**
- B. Client(s) agrees that this is not a technically exhaustive inspection and therefore the liability of the Inspector and/or Armadillo Home Inspection under this agreement shall be limited to the fair market value of the labor and materials necessary to repair or replace a system or component that, in the opinion of a court or agreed arbiter, should have been identified as significantly deficient in the home inspection report. No liability shall arise unless and until the Client(s) have both: (a) provided written notice to the Inspector of the deficiency and (b) provided the Inspector a reasonable opportunity to re-inspect the condition. Client(s) expressly waive all claim(s) for incidental and consequential damages and in no event shall the total damages recoverable under this Agreement, including attorney fees, damages, or actual, consequential, and incidental costs, exceed the amount of the Inspection Fee paid.
- C. **Client(s) agree that all claims are subject to a one (1) year statute of limitations from the date of the inspection.**



| | | |
|---|------------------------------------|----------------------------------|
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FREEDOM TO CHOOSE

A. Client(s) acknowledge that the inspection fee paid is nominal given the risk of liability associated with performing home inspections if liability could not be limited. Client(s) acknowledge that without the ability to limit liability, the inspection fee would be cost prohibitive. Client(s) acknowledge having been given the opportunity to have agreement reviewed by their own counsel. Client(s) acknowledge that they are free to contract with any licensed inspector of their own choosing and have not been coerced or forced to sign this agreement under duress.

SEVERABILITY & FAILURE TO SIGN

A. In the event any clause or provision of this Agreement is declared invalid or unenforceable by a court of competent jurisdiction, such clause or provision shall be stricken and the remainder of this Agreement shall remain in full force and effect.
 B. **This Agreement is hereby made part of and included with the Inspection Report. If Client(s) relies upon Inspection Report and its findings, Client(s) thereby agrees to be bound by the terms outlined in this Agreement whether or not Agreement is signed and executed.**

NOTIFICATION

Client(s) agree to notify Inspector of any claims, deficiencies in reporting, suspected negligence, or other issues with the provided services within ten (10) days of discovery. Client(s) waive their right to a claim should they fail to notify Inspector within this timeframe.

AUTHORIZATION

I have read, understand, and agree to all of the above terms and conditions of this contract and agree to pay the fee(s) listed above in full prior to the inspection. A signature by one party shall constitute acceptance by all parties named in transaction.

Client:

Inspector:

 Signature

John and Jill Smith

 Printed Name(s)

 Signature

Matthew Kenny

 Printed Name

 Date

08/01/23

 Date

If Client(s) are unable to sign this agreement for any reason, this agreement shall become part of the report and receipt of and reliance upon the report shall constitute acceptance of the terms of the above.

PART 6: WDI REPORT (IF PERFORMED)

